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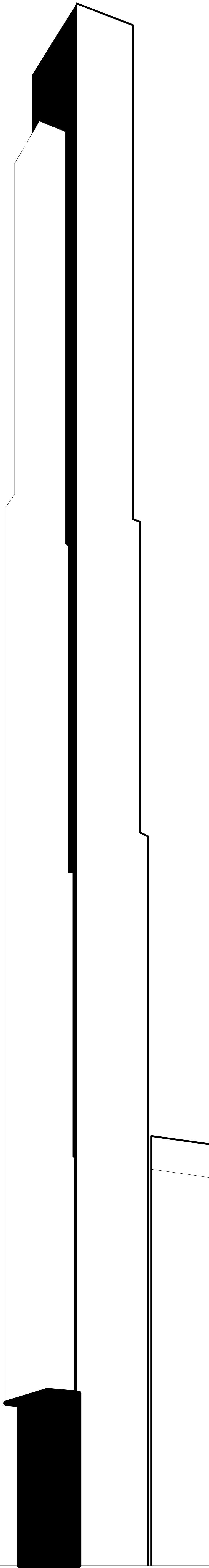
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ARCHITECTURAL - 12 DECEMBER 2017 - D.O.B. AMENDMENT 4



DWG. NO.	SHEET NO.	DRAWING TITLE	REV.	DWG. NO.	SHEET NO.	DRAWING TITLE	REV.		
1	G-001	DRAWING LIST	04	A-165	95TH FLOOR PLAN (EMR) (MPD-13RD FLOOR)	02	A-610	RESIDENTIAL INTERIOR DOOR SCHEDULE AND DOOR TYPES LEGEND	02
2	2-001	18TH FLOOR PLAN (DAMPEN) (MPD-14TH FLOOR)	01	A-166	96TH FLOOR PLAN (DAMPEN) (MPD-14TH FLOOR)	02	A-611	DOOR FRAME DETAILS	02
3	2-002	ZONING CALCULATIONS	01	A-167	97TH FLOOR PLAN (MECHANICAL) (MPD-15TH FLOOR)	02	A-612	DOOR HEAD & JAMB DETAILS	01
4	2-003	FLOOR AREA SCHEDULE	01	A-168	98TH FLOOR PLAN (MECHANICAL) (MPD-15TH FLOOR)	02	A-613	DELETED	02
5	2-004	SURVEY	01	A-169	99TH FLOOR PLAN (ROOF) (MPD-15TH FLOOR ROOF)	02	A-614	FINISH SCHEDULE	01
6	2-005	BUILDING SECTIONS	02	A-170	BMI TRACK LEVEL FLOOR PLAN (MPD-COOLING TOWERS/BMU)	01	A-615	ROOM FINISH SCHEDULE	02
7	2-006	ZONING FLOOR AREA PLAN AND DEDUCTIONS LOT 23, LOT 27 (EXISTING)	02	A-201	AXONOMETRIC VIEWS	01	A-616	ROOM FINISH SCHEDULE & FINISH SPECIFICATIONS	01
8	2-007	ZONING FLOOR AREA PLAN AND DEDUCTIONS LOT 28, LOT 37 (EXISTING)	02	A-202	OVERALL BUILDING ELEVATIONS	01	A-617	RESIDENTIAL ROOM FINISH SCHEDULE	01
9	2-008	ZONING FLOOR AREA PLAN AND DEDUCTIONS SUBCELLARS 2, 3, CELLAR	02	A-203	FAÇADE MAINTENANCE SYSTEM BUILDING ELEVATION	01	A-618	RESIDENTIAL & BOH APPLIANCE SCHEDULE	01
10	2-009	ZONING FLOOR AREA PLAN AND DEDUCTIONS 2ND, 3RD, 4TH FLOOR	02	A-210	PARTIAL ELEVATION - NORTH	03	A-621	RESIDENTIAL PLUMBING FIXTURE SCHEDULE	01
11	2-010	ZONING FLOOR AREA PLAN AND DEDUCTIONS 4TH, 5TH, 6TH FLOOR	02	A-211	PARTIAL ELEVATION - NORTH	03	A-622	ACCESSORY & CASHIER HARDWARE SCHEDULE AND BOH PLUMBING FIXTURE SCHEDULE	01
12	2-011	ZONING FLOOR AREA PLAN AND DEDUCTIONS 7TH, 8TH, 9TH FLOOR	02	A-212	PARTIAL ELEVATION - NORTH	02	A-661	ELEVATOR STAIR DIAGRAM	02
13	2-012	ZONING FLOOR AREA PLAN AND DEDUCTIONS 10TH, 10TH INTER, 1, 10TH INTER 2, 11TH, 12TH FLOOR	02	A-213	PARTIAL ELEVATIONS - NORTH	02	A-700	TYPICAL CEILING DETAILS	02
14	2-013	ZONING FLOOR AREA PLAN AND DEDUCTIONS 13TH, 14TH, 15TH FLOOR	02	A-214	PARTIAL ELEVATIONS - NORTH	02	A-701	SUB CELLAR 1 REFLECTED CEILING PLAN (BOH SUPPORT) (MPD-SUB CELLAR 3)	02
15	2-014	ZONING FLOOR AREA PLAN AND DEDUCTIONS 16TH, 17TH, 18TH FLOOR	02	A-215	PARTIAL ELEVATION - SOUTH	03	A-702	SUB CELLAR 2 REFLECTED CEILING PLAN (BOH SUPPORT) (MPD-SUB CELLAR 2)	02
16	2-015	ZONING FLOOR AREA PLAN AND DEDUCTIONS 19TH, 20TH, 21ST FLOOR	02	A-216	PARTIAL ELEVATION - SOUTH	02	A-703	SUB CELLAR 1 REFLECTED CEILING PLAN (RETAL) (MPD-SUB CELLAR 1)	02
17	2-016	ZONING FLOOR AREA PLAN AND DEDUCTIONS 22ND, 23RD, 24TH FLOOR	02	A-217	PARTIAL ELEVATION - SOUTH	02	A-704	CELLAR REFLECTED CEILING PLAN (RETAL) (MPD-SUB CELLAR 1)	02
18	2-017	ZONING FLOOR AREA PLAN AND DEDUCTIONS 25TH, 26TH, 27TH FLOOR	02	A-218	PARTIAL ELEVATIONS - SOUTH	02	A-705	GROUND FLOOR REFLECTED CEILING PLAN (LOBBY) (MPD-GROUND FLOOR)	02
19	2-018	ZONING FLOOR AREA PLAN AND DEDUCTIONS 28TH, 29TH, 30TH FLOOR	02	A-219	PARTIAL ELEVATIONS - SOUTH	02	A-706	GROUND FLOOR INTERMEDIATE REFLECTED CEILING PLAN (STAIR TRANSFER) (MPD-GROUND FLOOR)	02
20	2-019	ZONING FLOOR AREA PLAN AND DEDUCTIONS 31ST, 32ND, 33RD FLOOR	02	A-220	PARTIAL ELEVATION - EAST	02	A-708	3RD FLOOR REFLECTED CEILING PLAN (RETAL)	02
21	2-020	ZONING FLOOR AREA PLAN AND DEDUCTIONS 34TH, 35TH, 36TH FLOOR	02	A-221	PARTIAL ELEVATION - EAST	02	A-709	4TH FLOOR REFLECTED CEILING PLAN (RETAL)	02
22	2-021	ZONING FLOOR AREA PLAN AND DEDUCTIONS 37TH, 38TH, 39TH FLOOR	02	A-222	PARTIAL ELEVATION - EAST	02	A-710	5TH & 7TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL AMENITIES)	02
23	2-022	ZONING FLOOR AREA PLAN AND DEDUCTIONS 40TH, 41ST, 42ND FLOOR	02	A-223	PARTIAL ELEVATION - WEST	02	A-713	DELETED	02
24	2-023	ZONING FLOOR AREA PLAN AND DEDUCTIONS 43RD, 44TH, 45TH FLOOR	02	A-224	PARTIAL ELEVATION - WEST	02	A-714	10TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL AMENITIES)	02
25	2-024	ZONING FLOOR AREA PLAN AND DEDUCTIONS 46TH, 47TH, 48TH FLOOR	02	A-225	PARTIAL ELEVATION - WEST	02	A-717	10TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL AMENITIES)	02
26	2-025	ZONING FLOOR AREA PLAN AND DEDUCTIONS 49TH, 50TH, 51ST FLOOR	02	A-226	PARTIAL ELEVATION - WEST	02	A-723	DELETED	02
27	2-026	ZONING FLOOR AREA PLAN AND DEDUCTIONS 52ND, 53RD, 54TH FLOOR	02	A-227	PARTIAL ELEVATION - WEST	02	A-724	13TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
28	2-027	ZONING FLOOR AREA PLAN AND DEDUCTIONS 55TH, 56TH, 57TH FLOOR	02	A-228	PARTIAL ELEVATION - WEST	02	A-725	13TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
29	2-028	ZONING FLOOR AREA PLAN AND DEDUCTIONS 58TH, 59TH, 60TH FLOOR	02	A-229	PARTIAL ELEVATION - WEST	02	A-726	14TH-16TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
30	2-029	ZONING FLOOR AREA PLAN AND DEDUCTIONS 61ST, 62ND, 63RD FLOOR	02	A-230	TOP OF HOUSE INNER PARAPET ELEVATIONS	01	A-727	14TH-16TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
31	2-030	ZONING FLOOR AREA PLAN AND DEDUCTIONS 64TH, 65TH, 66TH FLOOR	02	A-231	TOP OF HOUSE INNER PARAPET ELEVATIONS	01	A-728	14TH-16TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
32	2-031	ZONING FLOOR AREA PLAN AND DEDUCTIONS 67TH, 68TH INTER, 69TH, 70TH FLOOR	02	A-232	TOP OF HOUSE SECTIONS	02	A-729	DELETED	02
33	2-032	ZONING FLOOR AREA PLAN AND DEDUCTIONS 71ST, 72ND, 73RD FLOOR	02	A-233	TOP OF HOUSE SECTIONS	02	A-730	DELETED	02
34	2-033	ZONING FLOOR AREA PLAN AND DEDUCTIONS 74TH, 75TH, 76TH FLOOR	02	A-234	TOP OF HOUSE SECTIONS	02	A-731	19TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
35	2-034	ZONING FLOOR AREA PLAN AND DEDUCTIONS 77TH, 78TH, 79TH FLOOR	02	A-235	TOP OF HOUSE SECTIONS	02	A-732	19TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
36	2-035	ZONING FLOOR AREA PLAN AND DEDUCTIONS 80TH, 81ST, 82ND FLOOR	02	A-236	TOP OF HOUSE SECTIONS	02	A-733	20TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
37	2-036	ZONING FLOOR AREA PLAN AND DEDUCTIONS 83RD, 84TH, 85TH FLOOR	02	A-237	TOP OF HOUSE SECTIONS	02	A-734	20TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
38	2-037	ZONING FLOOR AREA PLAN AND DEDUCTIONS 86TH, 87TH, 88TH FLOOR	02	A-238	TOP OF HOUSE SECTIONS	02	A-735	21ST-25TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
39	2-038	ZONING FLOOR AREA PLAN AND DEDUCTIONS 89TH, 90TH, 91ST, 92ND FLOOR	02	A-239	TOP OF HOUSE SECTIONS	02	A-736	21ST-25TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
40	2-039	ZONING FLOOR AREA PLAN AND DEDUCTIONS 93RD, 94TH, 95TH FLOOR	02	A-240	TOP OF HOUSE SECTIONS	02	A-737	DELETED	02
41	2-040	ZONING FLOOR AREA PLAN AND DEDUCTIONS 96TH, 97TH, 98TH, 99TH FLOOR	02	A-241	TOP OF HOUSE SECTIONS	02	A-738	DELETED	02
42	2-041	STREET WALL CONTINUITY CS-3 AND CS-6 WEST 57TH STREET	02	A-242	STAIRS ST-G AND ST-H SECTIONS	01	A-739	28TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
43	2-042	STREET WALL CONTINUITY CS-3 BROADWAY	02	A-243	STAIRS ST-G AND ST-H SECTIONS	01	A-740	28TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 1)	02
44	2-043	STREET WALL CONTINUITY CS-1 WEST 58TH STREET	02	A-244	STAIRS ST-G AND ST-H SECTIONS	01	A-741	27TH-28TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
45	2-044	RETAIL CONTINUITY	02	A-245	STAIRS ST-G AND ST-H SECTIONS	01	A-742	27TH-28TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
46	2-045	SPECIAL URBAN DESIGN REGULATIONS CS-1	02	A-246	STAIRS ST-G AND ST-H SECTIONS	01	A-743	27TH-28TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
47	2-046	SPECIAL URBAN DESIGN REGULATIONS CS-3	02	A-247	STAIRS ST-G AND ST-H SECTIONS	01	A-744	27TH-28TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
48	2-047	STREETSCAPE TREE PLANTING	02	A-248	STAIRS ST-G AND ST-H SECTIONS	01	A-745	27TH-28TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
49	2-048	REAR YARD & REAR YARD EQUIVALENTS SITE PLAN AND SECTION	02	A-249	STAIRS ST-G AND ST-H SECTIONS	01	A-746	DELETED	02
50	2-049	RECREATIONAL SPACE	02	A-250	STAIRS ST-G AND ST-H SECTIONS	01	A-747	40TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
51	2-050	CS-1 HEIGHT AND SETBACK SITE PLAN, SECTIONS AND ELEVATIONS	02	A-251	STAIRS ST-G AND ST-H SECTIONS	01	A-748	40TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
52	2-051	ZONING ROOF PLAN AND VENT POINTS	02	A-252	STAIRS ST-G AND ST-H SECTIONS	01	A-749	40TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
53	2-052	SECTION 8-17 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 1	02	A-253	STAIRS ST-G AND ST-H SECTIONS	01	A-750	40TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 2)	02
54	2-053	SECTION 8-17 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 2	02	A-254	STAIRS ST-G AND ST-H SECTIONS	01	A-751	75TH-77TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 4)	02
55	2-054	SECTION 8-17 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 3	02	A-255	STAIRS ST-G AND ST-H SECTIONS	01	A-752	78TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 4)	02
56	2-055	SECTION 8-17 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 4	02	A-256	STAIRS ST-G AND ST-H SECTIONS	01	A-753	78TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 4)	02
57	2-056	SECTION 8-17 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 5	02	A-257	STAIRS ST-G AND ST-H SECTIONS	01	A-754	78TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 4)	02
58	2-057	SECTION 8-17 ANALYSIS PLAN AND SECTION ANGLES SCORING VIEWPOINT 6	02	A-258	STAIRS ST-G AND ST-H SECTIONS	01	A-755	78TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 4)	02
59	A-001	GENERAL NOTES, STANDARDS AND ABBREVIATIONS	02	A-259	STAIRS ST-G AND ST-H SECTIONS	01	A-756	78TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 4)	02
60	A-002	PARTITION SCHEDULE - 1	02	A-260	STAIRS ST-G AND ST-H SECTIONS	01	A-757	78TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 4)	02
61	A-003	PARTITION SCHEDULE - 2	02	A-261	STAIRS ST-G AND ST-H SECTIONS	01	A-758	78TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 4)	02
62	A-004	FIRE STOPPING DETAILS	02	A-262	STAIRS ST-G AND ST-H SECTIONS	01	A-759	78TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 4)	02
63	A-005	FIRE STOPPING DETAILS	02	A-263	STAIRS ST-G AND ST-H SECTIONS	01	A-760	78TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 4)	02
64	A-006	SITE PLAN / ROOF PLAN	02	A-264	STAIRS ST-G AND ST-H SECTIONS	01	A-761	91ST FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 4)	02
65	A-007	GRIDLINES SETTING OUT PLAN	02	A-265	STAIRS ST-G AND ST-H SECTIONS	01	A-762	92ND FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 4)	02
66	A-008	CODE COMPLIANCE NOTES - 1	02	A-266	STAIRS ST-G AND ST-H SECTIONS	01	A-763	93RD & 94TH FLOOR REFLECTED CEILING PLAN (RESIDENTIAL - TIER 4)	02
67	A-009	CODE COMPLIANCE NOTES - 2	02	A-267	STAIRS ST-G AND ST-H SECTIONS	01	A-764	SUB CELLAR 3 PART REFLECTED CEILING PLAN (SOUTH)	02
68	A-010	CODE COMPLIANCE NOTES - 3	02	A-268	STAIRS ST-G AND ST-H SECTIONS	01	A-765	SUB CELLAR 3 PART REFLECTED CEILING PLAN (SOUTH-EAST)	02
69	A-011	CODE COMPLIANCE NOTES - 4	02	A-269	STAIRS ST-G AND ST-H SECTIONS	01	A-766	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
70	A-012	CODE COMPLIANCE NOTES - 5	02	A-270	STAIRS ST-G AND ST-H SECTIONS	01	A-767	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
71	A-013	SUB CELLAR 1 FLOOR PLAN / BUILDING CODE NOTES (BOH SUPPORT)	02	A-271	STAIRS ST-G AND ST-H SECTIONS	01	A-768	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
72	A-014	SUB CELLAR 2 FLOOR PLAN / BUILDING CODE NOTES (BOH SUPPORT)	02	A-272	STAIRS ST-G AND ST-H SECTIONS	01	A-769	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
73	A-015	SUB CELLAR 3 FLOOR PLAN / BUILDING CODE NOTES (RETAL)	02	A-273	STAIRS ST-G AND ST-H SECTIONS	01	A-770	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
74	A-016	CELLAR FLOOR PLAN / BUILDING CODE NOTES (LOBBY)	02	A-274	STAIRS ST-G AND ST-H SECTIONS	01	A-771	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
75	A-017	GROUND FLOOR INTERMEDIATE STAIR TRANSFER PLAN / BUILDING CODE NOTES	02	A-275	STAIRS ST-G AND ST-H SECTIONS	01	A-772	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
76	A-018	2ND FLOOR PLAN / BUILDING CODE NOTES (RETAL)	02	A-276	STAIRS ST-G AND ST-H SECTIONS	01	A-773	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
77	A-019	3RD FLOOR PLAN / BUILDING CODE NOTES (RETAL)	02	A-277	STAIRS ST-G AND ST-H SECTIONS	01	A-774	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
78	A-020	4TH FLOOR PLAN / BUILDING CODE NOTES (RETAL)	02	A-278	STAIRS ST-G AND ST-H SECTIONS	01	A-775	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
79	A-021	5TH FLOOR PLAN / BUILDING CODE NOTES (MECHANICAL)	02	A-279	STAIRS ST-G AND ST-H SECTIONS	01	A-776	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
80	A-022	6TH FLOOR PLAN / BUILDING CODE NOTES (MECHANICAL)	02	A-280	STAIRS ST-G AND ST-H SECTIONS	01	A-777	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
81	A-023	7TH FLOOR PLAN / BUILDING CODE NOTES (MECHANICAL)	02	A-281	STAIRS ST-G AND ST-H SECTIONS	01	A-778	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
82	A-024	8TH FLOOR PLAN / BUILDING CODE NOTES (MECHANICAL)	02	A-282	STAIRS ST-G AND ST-H SECTIONS	01	A-779	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
83	A-025	9TH FLOOR PLAN / BUILDING CODE NOTES (MECHANICAL)	02	A-283	STAIRS ST-G AND ST-H SECTIONS	01	A-780	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
84	A-026	10TH FLOOR PLAN / BUILDING CODE NOTES (MECHANICAL)	02	A-284	STAIRS ST-G AND ST-H SECTIONS	01	A-781	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
85	A-027	11TH FLOOR PLAN / BUILDING CODE NOTES (MECHANICAL)	02	A-285	STAIRS ST-G AND ST-H SECTIONS	01	A-782	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
86	A-028	12TH FLOOR PLAN / BUILDING CODE NOTES (MECHANICAL)	02	A-286	STAIRS ST-G AND ST-H SECTIONS	01	A-783	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
87	A-029	13TH FLOOR PLAN / BUILDING CODE NOTES (RESIDENTIAL - TIER 1A)	02	A-287	STAIRS ST-G AND ST-H SECTIONS	01	A-784	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
88	A-030	14TH-16TH FLOOR PLAN / BUILDING CODE NOTES (RESIDENTIAL - TIER 1A)	02	A-288	STAIRS ST-G AND ST-H SECTIONS	01	A-785	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
89	A-031	17TH-18TH FLOOR PLAN / BUILDING CODE NOTES (RESIDENTIAL - TIER 1A)	02	A-289	STAIRS ST-G AND ST-H SECTIONS	01	A-786	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
90	A-032	19TH FLOOR PLAN / BUILDING CODE NOTES (RESIDENTIAL - TIER 1A)	02	A-290	STAIRS ST-G AND ST-H SECTIONS	01	A-787	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
91	A-033	20TH FLOOR PLAN / BUILDING CODE NOTES (RESIDENTIAL - TIER 1C SIMPLEX)	02	A-291	STAIRS ST-G AND ST-H SECTIONS	01	A-788	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
92	A-034	21ST FLOOR PLAN / BUILDING CODE NOTES (RESIDENTIAL - TIER 1C)	02	A-292	STAIRS ST-G AND ST-H SECTIONS	01	A-789	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
93	A-035	22ND-25TH FLOOR PLAN / BUILDING CODE NOTES (RESIDENTIAL - TIER 1)	02	A-293	STAIRS ST-G AND ST-H SECTIONS	01	A-790	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
94	A-036	26TH FLOOR PLAN / BUILDING CODE NOTES (RESIDENTIAL - TIER 1)	02	A-294	STAIRS ST-G AND ST-H SECTIONS	01	A-791	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
95	A-037	27TH FLOOR PLAN / BUILDING CODE NOTES (MECHANICAL)	02	A-295	STAIRS ST-G AND ST-H SECTIONS	01	A-792	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
96	A-038	28TH FLOOR PLAN / BUILDING CODE NOTES (MECHANICAL)	02	A-296	STAIRS ST-G AND ST-H SECTIONS	01	A-793	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
97	A-039	29TH FLOOR PLAN / BUILDING CODE NOTES (MECHANICAL)	02	A-297	STAIRS ST-G AND ST-H SECTIONS	01	A-794	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
98	A-040	30TH FLOOR PLAN / BUILDING CODE NOTES (MECHANICAL)	02	A-298	STAIRS ST-G AND ST-H SECTIONS	01	A-795	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
99	A-041	31ST FLOOR PLAN / BUILDING CODE NOTES (MECHANICAL)	02	A-299	STAIRS ST-G AND ST-H SECTIONS	01	A-796	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
100	A-042	32ND FLOOR PLAN / BUILDING CODE NOTES (MECHANICAL)	02	A-300	STAIRS ST-G AND ST-H SECTIONS	01	A-797	1780 BROADWAY WEST FACADE - EXISTING AND PROPOSED ELEVATIONS	02
101</									

NEW BUILDING FLOOR AREA: ABOVE GRADE

FLOOR AREA ABOVE GRADE	MARKETING FLOOR DESIGNATIONS		ZONE C5-1			ZONE C5-3 MID			TOTAL		
			GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA
GROUND FLOOR	GROUND FLOOR	RESIDENTIAL	3,980	108	3,854	4,244	168	4,076	8,204	274	7,930
GROUND FLOOR	GROUND FLOOR	RETAIL	16,856	2,985	13,579	16,886	532	16,334	33,431	3,517	29,914
TOTAL			20,836	3,093	17,433	21,110	700	20,410	41,635	3,791	37,843
2ND FLOOR	2ND FLOOR	RESIDENTIAL	919	106	813	251	197	53	1,170	304	866
2ND FLOOR	2ND FLOOR	RETAIL	16,279	393	15,886	20,591	715	19,876	36,870	1,108	35,762
TOTAL			17,198	499	16,699	20,842	913	19,929	38,040	1,412	36,628
3RD FLOOR	3RD FLOOR	RESIDENTIAL	933	120	813	443	390	53	1,377	510	867
3RD FLOOR	3RD FLOOR	RETAIL	16,297	448	15,849	20,901	537	20,364	37,198	985	36,213
TOTAL			17,230	569	16,662	21,344	927	20,417	38,575	1,495	37,079
4TH FLOOR	4TH FLOOR	RESIDENTIAL	936	123	813	443	390	53	1,377	513	866
4TH FLOOR	4TH FLOOR	RETAIL	16,294	451	15,843	20,399	528	19,871	36,693	979	35,714
TOTAL			17,230	574	16,659	20,842	917	19,925	38,072	1,492	36,581
5TH FLOOR	5TH FLOOR	RESIDENTIAL	936	123	813	451	397	53	1,386	520	867
5TH FLOOR	5TH FLOOR	RETAIL	13,071	448	12,623	20,894	510	20,384	33,965	958	33,007
TOTAL			14,007	571	13,436	21,344	907	20,438	35,351	1,478	33,873
6TH FLOOR MEP	6TH FLOOR	RESIDENTIAL	5,447	5,447	0	6,157	5,651	506	11,604	11,098	506
6TH FLOOR MEP	6TH FLOOR	RETAIL	8,626	8,626	0	14,507	0	0	23,133	23,133	0
TOTAL			14,073	14,073	0	20,664	20,158	506	34,737	34,231	506
7TH FLOOR MEP	7TH FLOOR	RESIDENTIAL	14,073	14,073	0	20,664	19,946	718	34,736	34,019	718
7TH FLOOR	14TH FLOOR	RESIDENTIAL	7,533	354	7,180	5,155	130	5,025	12,688	484	12,205
8TH FLOOR	14TH FLOOR	RETAIL	0	0	0	954	321	634	954	321	634
TOTAL			7,533	354	7,180	6,110	451	5,659	13,643	805	12,838
9TH FLOOR	15TH FLOOR	RESIDENTIAL	7,463	7,463	0	3,691	3,691	0	11,155	11,155	0
10TH FLOOR	16TH FLOOR	RESIDENTIAL	7,463	346	7,117	3,691	62	3,629	11,155	408	10,746
10TH FLOOR INTER 1	17TH FLOOR	RESIDENTIAL	7,463	7,463	0	3,691	3,691	0	11,155	11,155	0
10TH FLOOR INTER 2	18TH FLOOR	RESIDENTIAL	7,457	7,457	0	3,691	3,691	0	11,148	11,148	0
11TH FLOOR BMU	19TH FLOOR	RESIDENTIAL	7,463	7,463	0	3,691	3,691	0	11,155	11,155	0
12TH FLOOR MEP	20TH FLOOR	RESIDENTIAL	9,403	9,403	0	4,238	4,238	0	13,643	13,643	0
13TH FLOOR	32ND FLOOR	RESIDENTIAL	9,387	1,057	8,329	1,041	3,199	13,626	2,098	11,528	11,528
14TH FLOOR	33RD FLOOR	RESIDENTIAL	9,387	701	8,686	4,239	286	3,953	13,626	987	12,639
15TH FLOOR	34TH FLOOR	RESIDENTIAL	9,387	705	8,682	4,239	286	3,953	13,626	991	12,635
16TH FLOOR	35TH FLOOR	RESIDENTIAL	9,387	705	8,681	4,239	286	3,953	13,626	991	12,635
17TH FLOOR	36TH FLOOR	RESIDENTIAL	9,387	705	8,681	4,239	279	3,960	13,626	984	12,642
18TH FLOOR	37TH FLOOR	RESIDENTIAL	9,387	705	8,681	4,239	280	3,960	13,626	985	12,641
19TH FLOOR	38TH FLOOR	RESIDENTIAL	9,387	715	8,672	4,239	288	3,951	13,626	1,003	12,623
20TH FLOOR	39TH FLOOR	RESIDENTIAL	9,387	647	8,740	2,024	115	1,909	11,410	762	10,648
21ST FLOOR	40RD FLOOR	RESIDENTIAL	9,387	688	8,699	2,024	166	1,857	11,410	854	10,556
22ND FLOOR	41TH FLOOR	RESIDENTIAL	9,387	688	8,699	2,024	167	1,857	11,410	855	10,556
23RD FLOOR	42TH FLOOR	RESIDENTIAL	9,387	688	8,699	2,024	167	1,857	11,410	854	10,556
24TH FLOOR	43TH FLOOR	RESIDENTIAL	9,387	688	8,699	2,024	167	1,857	11,410	854	10,556
25TH FLOOR	44TH FLOOR	RESIDENTIAL	9,387	688	8,699	2,024	167	1,857	11,410	854	10,556
26TH FLOOR	45TH FLOOR	RESIDENTIAL	9,387	701	8,686	2,024	167	1,856	11,410	868	10,542
27TH FLOOR MEP	50TH FLOOR	RESIDENTIAL	9,202	9,202	0	1,973	1,973	0	11,175	11,175	0
28TH FLOOR	53RD FLOOR	RESIDENTIAL	7,061	502	6,559	2,024	116	1,908	9,084	617	8,467
29TH FLOOR	54TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
30TH FLOOR	55TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
31ST FLOOR	56TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
32ND FLOOR	57TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
33RD FLOOR	58TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
34TH FLOOR	59TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
35TH FLOOR	60TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
36TH FLOOR	61ST FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
37TH FLOOR	62ND FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
38TH FLOOR	63RD FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
39TH FLOOR	64TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
40TH FLOOR	65TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
41ST FLOOR	66TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
42ND FLOOR	67TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
43RD FLOOR	68TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
44TH FLOOR	69TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
45TH FLOOR	70TH FLOOR	RESIDENTIAL	7,061	465	6,596	2,024	144	1,880	9,084	608	8,476
46TH FLOOR MEP	71ST FLOOR	RESIDENTIAL	6,929	6,929	0	1,960	1,960	0	8,889	8,889	0
47TH FLOOR	72TH FLOOR	RESIDENTIAL	6,764	422	6,342	2,024	103	1,921	8,788	525	8,263
48TH FLOOR	73TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
49TH FLOOR	74TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
50TH FLOOR	75TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
51ST FLOOR	76TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
52ND FLOOR	77TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
53RD FLOOR	78TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
54TH FLOOR	79TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
55TH FLOOR	80TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
56TH FLOOR	81TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
57TH FLOOR	82TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
58TH FLOOR	83TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
59TH FLOOR	84TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
60TH FLOOR	85TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
61ST FLOOR	86TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
62ND FLOOR	87TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
63RD FLOOR	88TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
64TH FLOOR	89TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
65TH FLOOR	90TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
66TH FLOOR	91TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
67TH FLOOR MEP	92TH FLOOR	RESIDENTIAL	6,553	6,553	0	1,823	1,823	0	8,377	8,377	0
67TH FLOOR INTER	93TH FLOOR	RESIDENTIAL	6,595	6,595	0	1,766	1,766	0	8,361	8,361	0
68TH FLOOR	100TH FLOOR	RESIDENTIAL	6,646	278	6,369	1,875	178	1,697	8,522	456	8,066
69TH FLOOR	101TH FLOOR	RESIDENTIAL	6,285	319	5,966	1,873	127	1,746	8,158	445	7,712
70TH FLOOR	102TH FLOOR	RESIDENTIAL	6,284	2,032	4,252	1,874	728	1,145	8,158	2,760	5,397
71ST FLOOR	103TH FLOOR	RESIDENTIAL	6,329	360	5,969	1,507	133	1,374	7,835	493	7,342
72ND FLOOR	104TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
73RD FLOOR	105TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
74TH FLOOR	106TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
75TH FLOOR	107TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
76TH FLOOR	108TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
77TH FLOOR	109TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
78TH FLOOR	110TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
79TH FLOOR	111TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
80TH FLOOR	112TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
81ST FLOOR	113TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
82ND FLOOR	114TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
83RD FLOOR	115TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
84TH FLOOR	116TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
85TH FLOOR	117TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	

GROUND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		3,960	106	3,854
RETAIL		15,622	2,985	12,636
TOTAL		19,581	3,091	16,490

GROUND FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	1.1	3'-11"	8'-8"
RESIDENTIAL	P	1.2	1'-3"	1'-8"
RESIDENTIAL	P	1.3	1'-5"	7'-4"
RESIDENTIAL	P	1.4	1'-9"	8'-2"
RESIDENTIAL	M	1.5	3'-4"	8'-2"
RESIDENTIAL	P	1.6	2'-9"	3'-9"
RESIDENTIAL	P	1.7	1'-4"	2'-9"
RESIDENTIAL	P	1.8	1'-8"	2'-2"
SUBTOTAL				105.7
RETAIL	M	1.19	46'-5"	57'-4"
RETAIL	M	1.10	5'-8"	12'-8"
RETAIL	P	1.11	4'-8"	4'-11"
RETAIL	P	1.12	1'-3"	1'-3"
RETAIL	P	1.13	1'-4"	1'-4"
RETAIL	P	1.14	1'-4"	1'-4"
RETAIL	P	1.15	1'-4"	1'-4"
RETAIL	O	1.16	3'-10"	17'-1"
RETAIL	O	1.17	9'-0"	17'-1"
SUBTOTAL				2,985.3

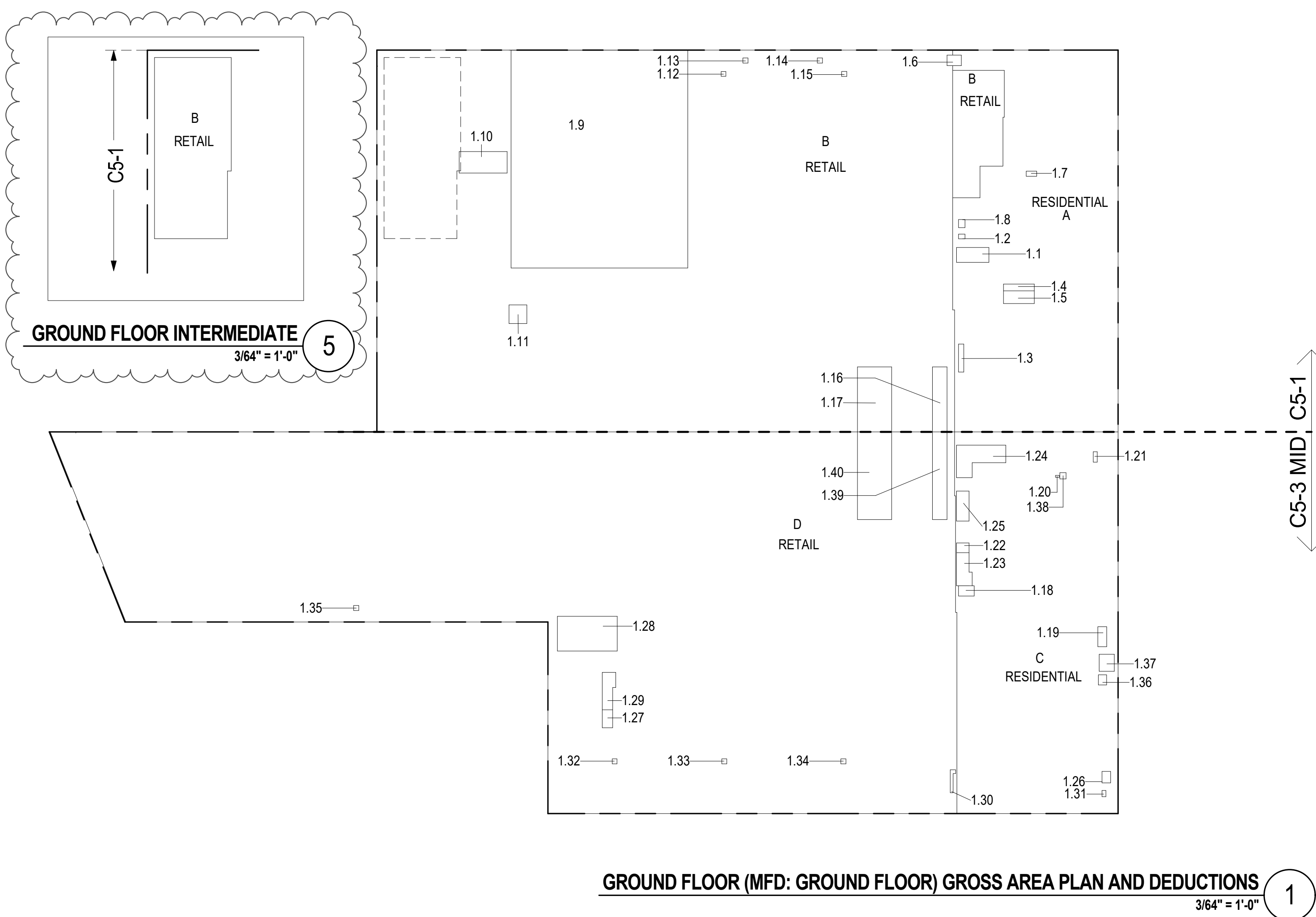
* PERMITTED FLOOR AREA DEDUCTION FOR REQUIRED LOADING BERTHS: 200% OF 12 X 37 X 3 NOS. = 2,664 SF

GROUND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		4,244	168	4,076
RETAIL		16,866	532	16,334
TOTAL		21,110	700	20,410

GROUND FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	P	1.18	2'-8"	4'-2"
RESIDENTIAL	P	1.19	2'-4"	8'-3"
RESIDENTIAL	M	1.20	0'-6"	1'-0"
RESIDENTIAL	P	1.21	1'-0"	2'-9"
RESIDENTIAL	P	1.22	2'-7"	3'-3"
RESIDENTIAL	E	1.23	3'-4"	9'-6"
RESIDENTIAL	M	1.24	4'-5"	17'-1"
RESIDENTIAL	M	1.25	3'-3"	7'-11"
SUBTOTAL				168.3
RETAIL	M	1.26	2'-3"	3'-0"
RETAIL	M	1.27	2'-9"	4'-9"
RETAIL	M	1.28	9'-2"	15'-9"
RETAIL	E	1.29	2'-10"	10'-7"
RETAIL	P	1.30	0'-9"	6'-9"
RETAIL	M	1.31	1'-1"	1'-8"
RETAIL	P	1.32	1'-3"	1'-4"
RETAIL	P	1.33	1'-4"	1'-4"
RETAIL	P	1.34	1'-4"	1'-4"
RETAIL	P	1.35	1'-4"	1'-4"
RETAIL	M	1.36	2'-2"	2'-8"
RETAIL	P	1.37	4'-0"	4'-6"
RETAIL	P	1.38	1'-8"	1'-8"
RETAIL	O	1.39	3'-10"	23'-1"
RETAIL	O	1.40	9'-0"	23'-1"
SUBTOTAL				531.9

GROUND FLOOR INTERMEDIATE AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RETAIL	B	943	0	943
TOTAL		943	0	943

GROUND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		8,204	274	7,930
RETAIL		33,431	3,517	29,914
TOTAL		41,635	3,791	37,843



ZONING AND DEDUCT LEGEND

DEDUCTIONS

- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)
- G - GAP FROM ADJACENT BUILDING

DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

GROUND FLOOR (MFD: GROUND FLOOR) GROSS AREA PLAN AND DEDUCTIONS

364' x 1'-0"

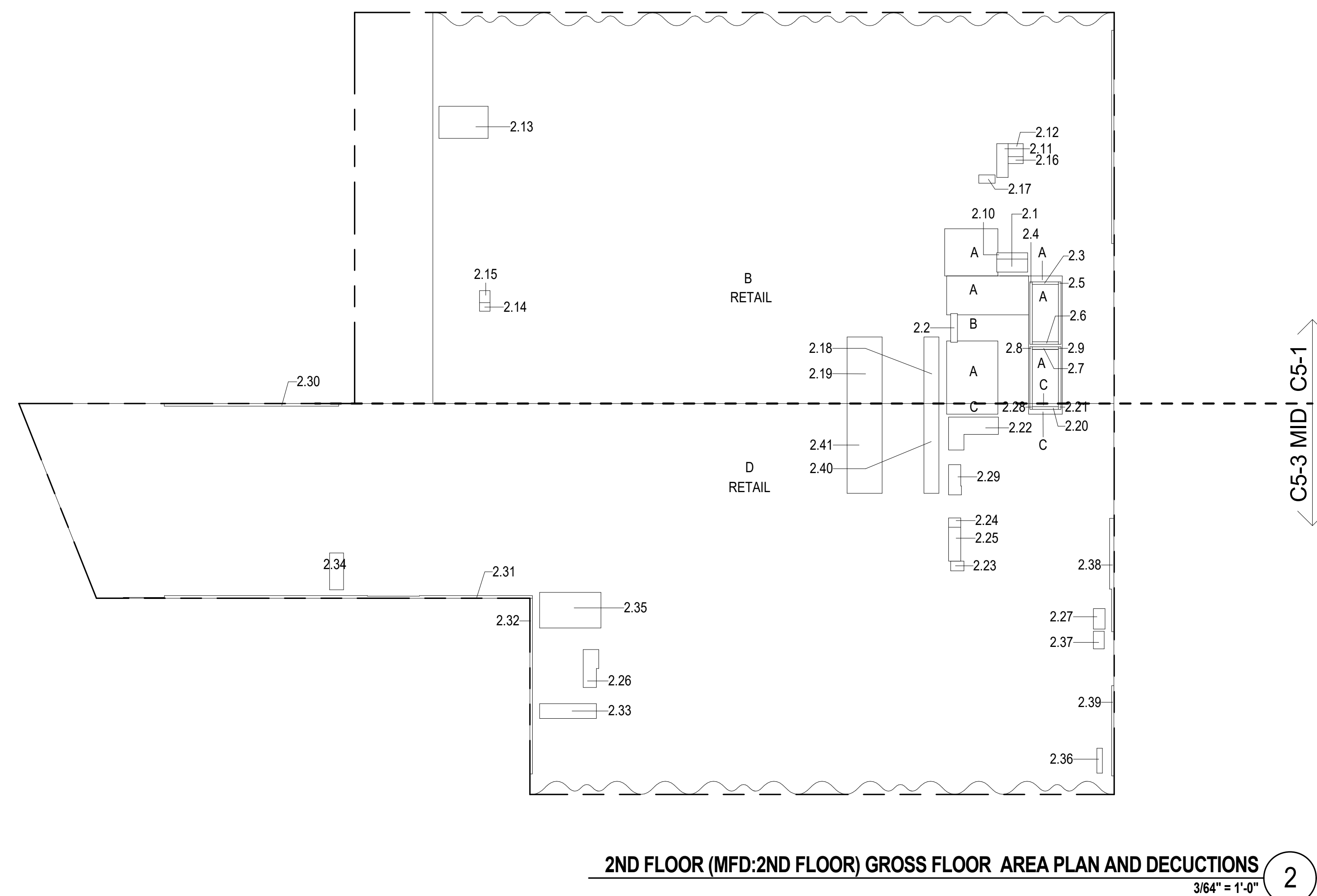
2ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		919	106	813
RETAIL		16,279	393	15,886
TOTAL		17,198	499	16,699

2ND FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	2.1	3'-4"	7'-11"
RESIDENTIAL	P	2.2	1'-9"	7'-4"
RESIDENTIAL	ST	2.3	0'-8"	6'-8"
RESIDENTIAL	ST	2.4	0'-8"	16'-1"
RESIDENTIAL	ST	2.5	0'-8"	16'-1"
RESIDENTIAL	ST	2.6	0'-8"	6'-8"
RESIDENTIAL	ST	2.7	0'-8"	7'-0"
RESIDENTIAL	ST	2.8	0'-8"	14'-7"
RESIDENTIAL	ST	2.9	0'-8"	14'-2"
RESIDENTIAL	P	2.10	1'-7"	7'-11"
SUBTOTAL				106.3
RETAIL	M	2.11	2'-11"	8'-8"
RETAIL	M	2.12	3'-4"	3'-10"
RETAIL	M	2.13	8'-3"	12'-8"
RETAIL	P	2.14	2'-3"	2'-9"
RETAIL	M	2.15	2'-9"	3'-1"
RETAIL	P	2.16	1'-10"	3'-10"
RETAIL	P	2.17	2'-2"	4'-3"
RETAIL	O	2.18	3'-10"	17'-1"
RETAIL	O	2.19	9'-0"	17'-1"
SUBTOTAL				392.8

2ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		251	197	53
RETAIL		20,591	715	19,876
TOTAL		20,842	913	19,929

2ND FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	2.20	0'-8"	6'-8"
RESIDENTIAL	ST	2.21	0'-8"	1'-6"
RESIDENTIAL	M	2.22	4'-3"	16'-11"
RESIDENTIAL	P	2.23	2'-6"	3'-5"
RESIDENTIAL	P	2.24	2'-5"	3'-1"
RESIDENTIAL	E	2.25	3'-1"	8'-9"
RESIDENTIAL	E	2.26	3'-6"	10'-3"
RESIDENTIAL	P	2.27	3'-0"	5'-3"
RESIDENTIAL	ST	2.28	0'-8"	1'-6"
RESIDENTIAL	M	2.29	3'-1"	8'-0"
SUBTOTAL				197.5
RETAIL	G	2.30	0'-8"	44'-9"
RETAIL	G	2.31	0'-7"	105'-3"
RETAIL	G	2.32	0'-8"	45'-2"
RETAIL	M	2.33	3'-10"	14'-7"
RETAIL	M	2.34	3'-7"	9'-5"
RETAIL	M	2.35	9'-2"	15'-9"
RETAIL	P	2.36	1'-5"	6'-5"
RETAIL	P	2.37	2'-9"	4'-6"
RETAIL	G	2.38	0'-11"	29'-4"
RETAIL	G	2.39	0'-7"	23'-2"
RETAIL	O	2.40	3'-10"	23'-1"
RETAIL	O	2.41	9'-0"	23'-1"
SUBTOTAL				715.4

2ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,170	304	866
RETAIL		36,870	1,108	35,762
TOTAL		38,040	1,412	36,628



2ND FLOOR (MFD: 2ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364' x 1'-0"

3RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		933	120	813
RETAIL		16,297	448	15,849
TOTAL		17,230	569	16,662

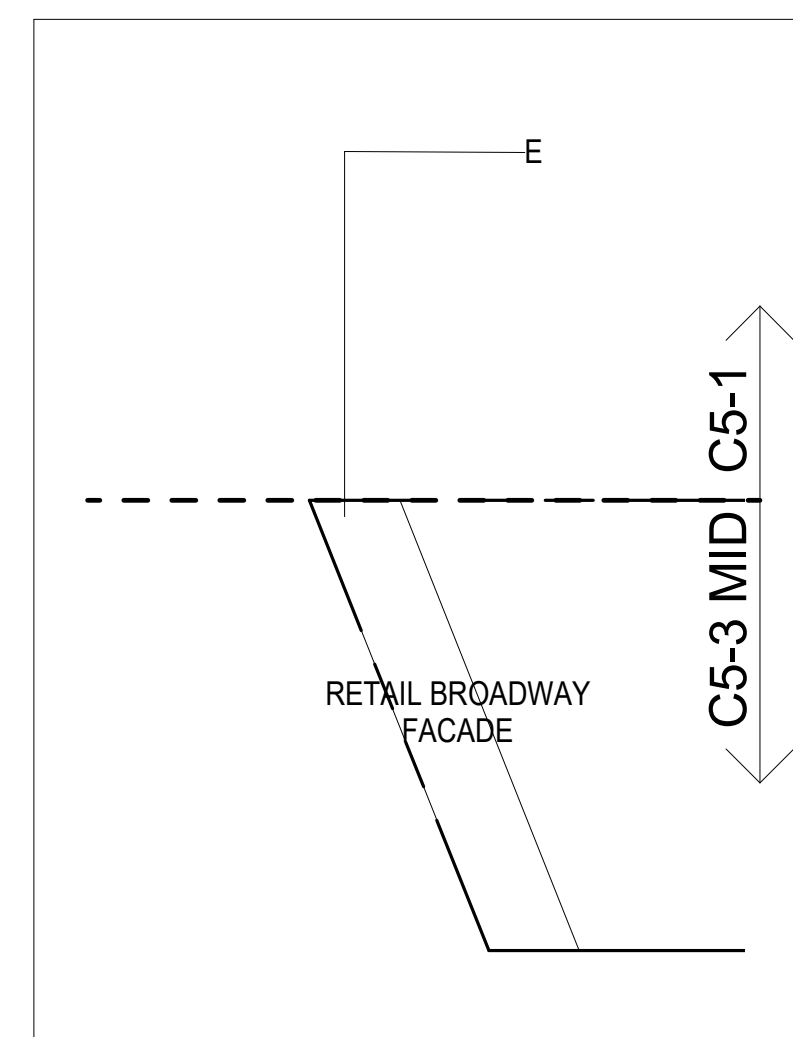
3RD FLOOR FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	3.1	2'-10"	7'-11"
RESIDENTIAL	P	3.2	1'-9"	7'-4"
RESIDENTIAL	ST	3.3	0'-8"	6'-8"
RESIDENTIAL	ST	3.4	0'-8"	16'-1"
RESIDENTIAL	ST	3.5	0'-8"	16'-1"
RESIDENTIAL	ST	3.6	0'-8"	6'-8"
RESIDENTIAL	ST	3.7	0'-8"	6'-8"
RESIDENTIAL	ST	3.8	0'-8"	14'-7"
RESIDENTIAL	ST	3.9	0'-8"	14'-7"
RESIDENTIAL	M	3.10	2'-5"	7'-6"
RESIDENTIAL	P	3.11	1'-7"	7'-11"
SUBTOTAL				120.3
RETAIL	P	3.12	2'-3"	2'-9"
RETAIL	M	3.13	2'-9"	3'-1"
RETAIL	M	3.14	7'-6"	7'-10"
RETAIL	M	3.15	8'-3"	12'-8"
RETAIL	M	3.16	4'-4"	11'-11"
RETAIL	O	3.17	3'-10"	17'-1"
RETAIL	O	3.18	9'-0"	17'-1"
SUBTOTAL				448.4

3RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		443	390	53
RETAIL		20,399	537	19,862
TOTAL		20,842	927	19,915

3RD FLOOR FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	3.19	3'-1"	7'-9"
RESIDENTIAL	P	3.20	2'-5"	3'-1"
RESIDENTIAL	P	3.21	3'-0"	5'-3"
RESIDENTIAL	P	3.22	2'-6"	3'-5"
RESIDENTIAL	ST	3.23	0'-8"	6'-8"
RESIDENTIAL	ST	3.24	0'-8"	1'-6"
RESIDENTIAL	ST	3.25	0'-8"	1'-6"
RESIDENTIAL	E	3.26	3'-5"	14'-5"
RESIDENTIAL	E	3.27	3'-1"	8'-9"
RESIDENTIAL	M	3.28	3'-8"	9'-5"
RESIDENTIAL	M	3.29	9'-2"	15'-9"
RESIDENTIAL	M	3.30	4'-3"	16'-11"
SUBTOTAL				390.7
RETAIL	G	3.31	0'-8"	45'-2"
RETAIL	G	3.32	0'-7"	105'-3"
RETAIL	G	3.33	0'-8"	44'-9"
RETAIL	G	3.34	0'-7"	23'-2"
RETAIL	G	3.35	0'-11"	29'-4"
RETAIL	M	3.36	3'-10"	14'-7"
RETAIL	P	3.37	1'-5"	6'-5"
RETAIL	P	3.38	2'-9"	4'-6"
RETAIL	O	3.39	3'-10"	23'-1"
RETAIL	O	3.40	9'-0"	23'-1"
SUBTOTAL				536.9

3RD FLOOR BROADWAY FACADE AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RETAIL	E	502	0	502
TOTAL		502	0	502

3RD FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,377	510	867
RETAIL		37,198	985	36,213
TOTAL		38,575	1,495	37,079



3RD FLOOR - BROADWAY FACADE

364' x 1'-0"

4

3RD FLOOR (MFD: 3RD FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364' x 1'-0"

5

KEY PLAN

PROJECT 000

PROJECT NORTH

TRUE NORTH

DEVELOPER:

DESIGN ARCHITECT:

ARCHITECT OF RECORD:

STRUCTURAL ENGINEERS:

MEP ENGINEERS:

GEOTECHNICAL ENGINEERS:

CODE CONSULTANTS:

CURTAINWALL CONSULTANT:

LANDMARK/PRESERVATION CONSULTANT:

LANDMARK/PRESERVATION CONSULTANT:

No. DESCRIPTION DATE

1 D.O.B. SUBMISSION 05 DEC 14

2 D.O.B. SUBMISSION 18 FEB 15

D.O.B. SUBMISSION 27 APR 14

D.O.B. AMENDMENT 2 21 SEP 15

D.O.B. AMENDMENT 3 03 OCT 16

D.O.B. AMENDMENT 4 12 DEC 17

0 10' 8" 21' 4" 42' 8"

D.O.B. SUBMISSION

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CONSULTANT:

PROJECT:

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DOB PAGE No.:

DOB B-SCAN:

217 WEST 57TH STREET

NEW YORK, NY

ZONING FLOOR AREA PLAN AND DEDUCTIONS

GROUND, 2ND, 3RD FLOOR

1216-00

2

Z-009.03

4 of 13

OCCUPANT LOADS SUMMARY SUBCELLAR 2 FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
ASSEMBLY	A-2	1,242 SF	15 SF	83
RESIDENTIAL MANAGER OFFICE	B	195 SF	15 SF	13
MEN'S LOCKERS	B	402 SF	50 SF	9
STAFF LOCKERS	B	237 SF	50 SF	5
WOMEN'S LOCKERS	B	195 SF	50 SF	4
BUSINESS	B	9,039 SF	100 SF	91
STAFF ROOM	B	327 SF	100 SF	3
WASHROOM	B	64 SF	100 SF	1
MECHANICAL	F-2	404 SF	50 SF	9
MECHANICAL	F-2	278 SF	50 SF	6
AC MER FOR BOH	F-2	221 SF	300 SF	1
AC MER FOR CORRIDOR	F-2	109 SF	300 SF	1
MECHANICAL	F-2	156 SF	300 SF	1
STAFF	F-2	160 SF	300 SF	1
SUCTION TANK ROOM	F-2	1,391 SF	300 SF	5
UTILITY	F-2	48 SF	300 SF	1
PANTRY	R-2	1,248 SF	200 SF	7
ACCESSORY WIC	S-1	250 SF	300 SF	1
ACCESSORY WIC	S-1	60 SF	300 SF	1
BUILDING STORAGE	S-1	1,087 SF	300 SF	4
JANITOR	S-1	30 SF	300 SF	1
RETAIL BICYCLE STORAGE	S-1	385 SF	300 SF	2
STORAGE	S-1	371 SF	300 SF	4
STORAGE	S-1	92 SF	300 SF	1
STORAGE / BOH	S-1	8,886 SF	300 SF	30
WORKSHOP	S-1	1,086 SF	300 SF	4
Grand total				290

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (638)	STAIR LOAD TOTAL (291)
STAIR - G	44"	0.3	146	83
STAIR - H	60"	0.3	200	92
STAIR - J	44"	0.3	146	91
STAIR - K	44"	0.3	146	25

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (710)	DOOR LOAD TOTAL (291)
STAIR - G - DOOR	34"	0.2	170	83
STAIR - H - DOOR	40"	0.2	200	92
STAIR - J - DOOR	34"	0.2	170	91
STAIR - K - DOOR	34"	0.2	170	25

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - G	11"	6.79"	21	81.43"
STAIR - H	11"	6.75"	24	74.25"
STAIR - J	11"	6.79"	21	74.64"
STAIR - K	11"	6.79"	21	61.07"

SUB CELLAR 3 & SUB CELLAR 2 PLUMBING FIXTURES - PER PC TABLE 403.1

OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS	REQUIRED WATER CLOSETS	REQUIRED LAVATORIES	PROVIDED WATER CLOSETS	PROVIDED LAVATORIES
ASSEMBLY (RETAIL SC2)	A-2	42	42	1	1	1
OCCUPANCY B (RETAIL SC2)	B	47	47	3	2	2
OCCUPANCY S-1 (RETAIL SC2)	S-1	15	15	0.30	0.30	5**
MECHANICAL (RETAIL SC2)	F-2	8	8	0.15	0.15	5**
OCCUPANCY B	B	18	18	2	1	2
OCCUPANCY S-1	S-1	23	23	0.45	0.45	2**
OCCUPANCY S-2	S-2	3	3	0.06	0.06	2**
OCCUPANCY R-2	R-2	4	4	0.04	0.04	
STORAGE/MECHANICAL	F-2	13	13	0.26	0.26	

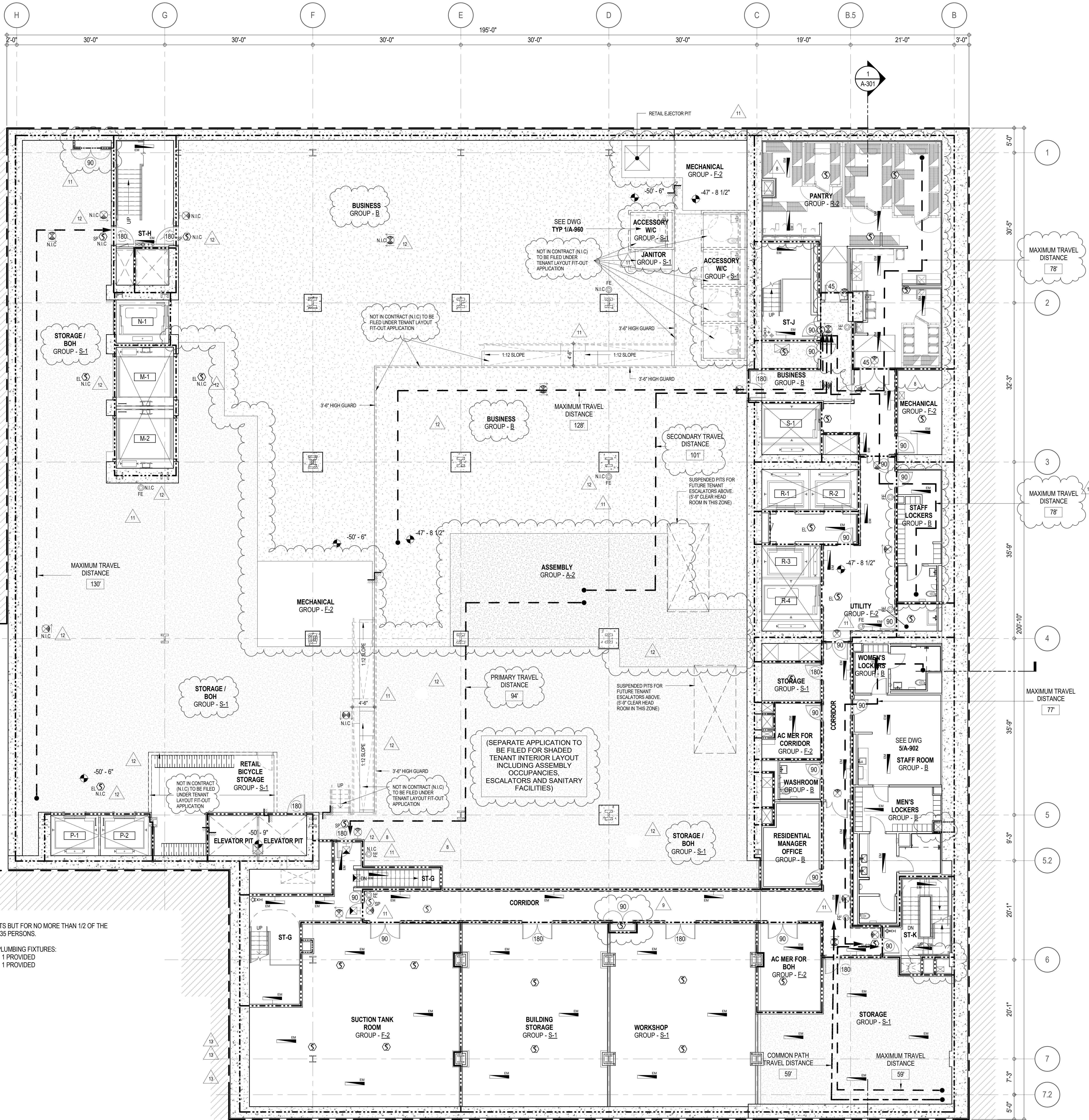
* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES: DRINKING FOUNTAINS (1 PER 1000 P.): 1 REQUIRED, 1 PROVIDED SERVICE SINK: 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX BATHROOM

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'
S-1	200'	100'	20'
B	300'	100'	50'
A-2	150' (PRIMARY) / 250' (SECONDARY)	75'	20'

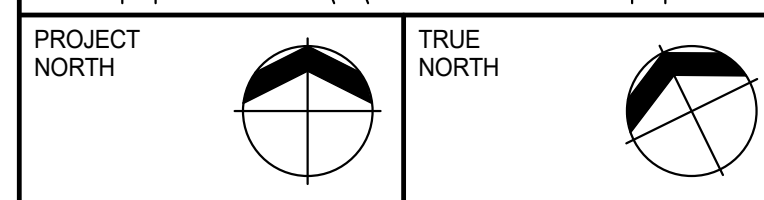
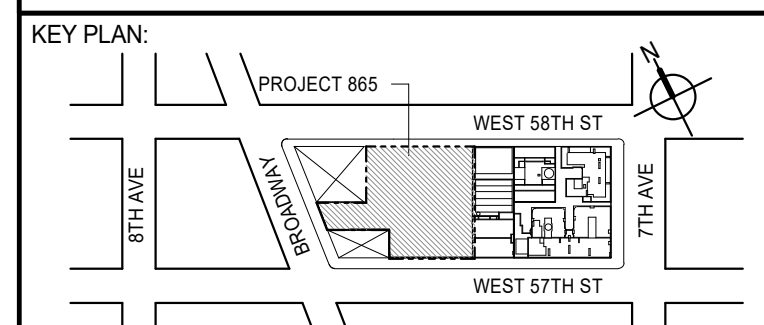


EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

⬆	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	WALL MOUNTED ILLUMINATED NO EXIT SIGN	⬆	FEC FIRE EXTINGUISHER CABINET	⬆	SMOKE DETECTOR
⬆	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	⬆	SPRINKLER HEAD (REFER TO FP DRAWINGS)	⬆	SMOKE / CARBON MONOXIDE DETECTOR
⬆	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	ILLUMINATED NO EXIT SIGN	⬆	STANDPIPE	⬆	CEILING MOUNTED EMERGENCY LIGHT
⬆	ILLUMINATED NO EXIT SIGN	⬆	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	⬆	SPRINKLER RISER	⬆	WALL MOUNTED EMERGENCY LIGHT
⬆	ILLUMINATED EXIT SIGN	⬆	ILLUMINATED NO EXIT SIGN	⬆	SIAMESE CONNECTION	⬆	DOOR RATING (MINUTES)



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LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD BULLETIN ISSUE - 6	31 MAR 16
13	CD BULLETIN ISSUE - 9	26 AUG 16
14	D.O.B. AMENDMENT 4	13 FEB 17
15	D.O.B. AMENDMENT 4	12 DEC 17

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET NEW YORK, NY**

DRAWING TITLE: **SUB CELLAR 2 FLOOR PLAN**

SEAL & SIGNATURE	DATE: 15 OCT 14
PROJECT No: 1216-00	REV: 13
DRAWN: Author	SCALE: 1/8" = 1'-0"
CHK: Checker	DWG No: A-032.02
DOB EMPLOYEE STAMP	DOB PAGE No: 5 of 33
	DOB 5-SCAN:

OCCUPANT LOADS SUMMARY SUBCELLAR 1 FLOOR PLAN				
WV	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RETAIL	M	90 SF		** 248
STORAGE	S-1	5,201 SF	300 SF	** 18
KITCHEN	A-2	5,037 SF	200 SF	** 26
ASSEMBLY	A-2	3,377 SF	15 SF	** 226
STORAGE	S-1	2,159 SF	300 SF	** 8
STORAGE	S-1	263 SF	300 SF	** 1
Grand Total				527

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (600)	STAIR LOAD TOTAL (527)
STAIR - G	60"	0.3	200	** 176
STAIR - H	60"	0.3	200	** 176
STAIR - J	60"	0.3	200	** 175

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (600)	DOOR LOAD TOTAL (527)
STAIR - G - DOOR	40"	0.2	200	** 176
STAIR - H - DOOR	40"	0.2	200	** 176
STAIR - J - DOOR	40"	0.2	200	** 175

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - G	11"	6.93"	29	55.45"
STAIR - H	11"	6.93"	31	55.48"
STAIR - J	11"	6.93"	29	55.45"

SUB CELLAR 1 PLUMBING FIXTURES - PER PC TABLE 403.1

OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS (565)		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
		M50%	F50%	M	F	M	F	M	F	M	F
ASSEMBLY	A-2	126	126	2	2	1.26					
RETAIL	M	124	124	0.50		0.33					
OCCUPANCY S-1	S-1	14	14	0.27		0.27					

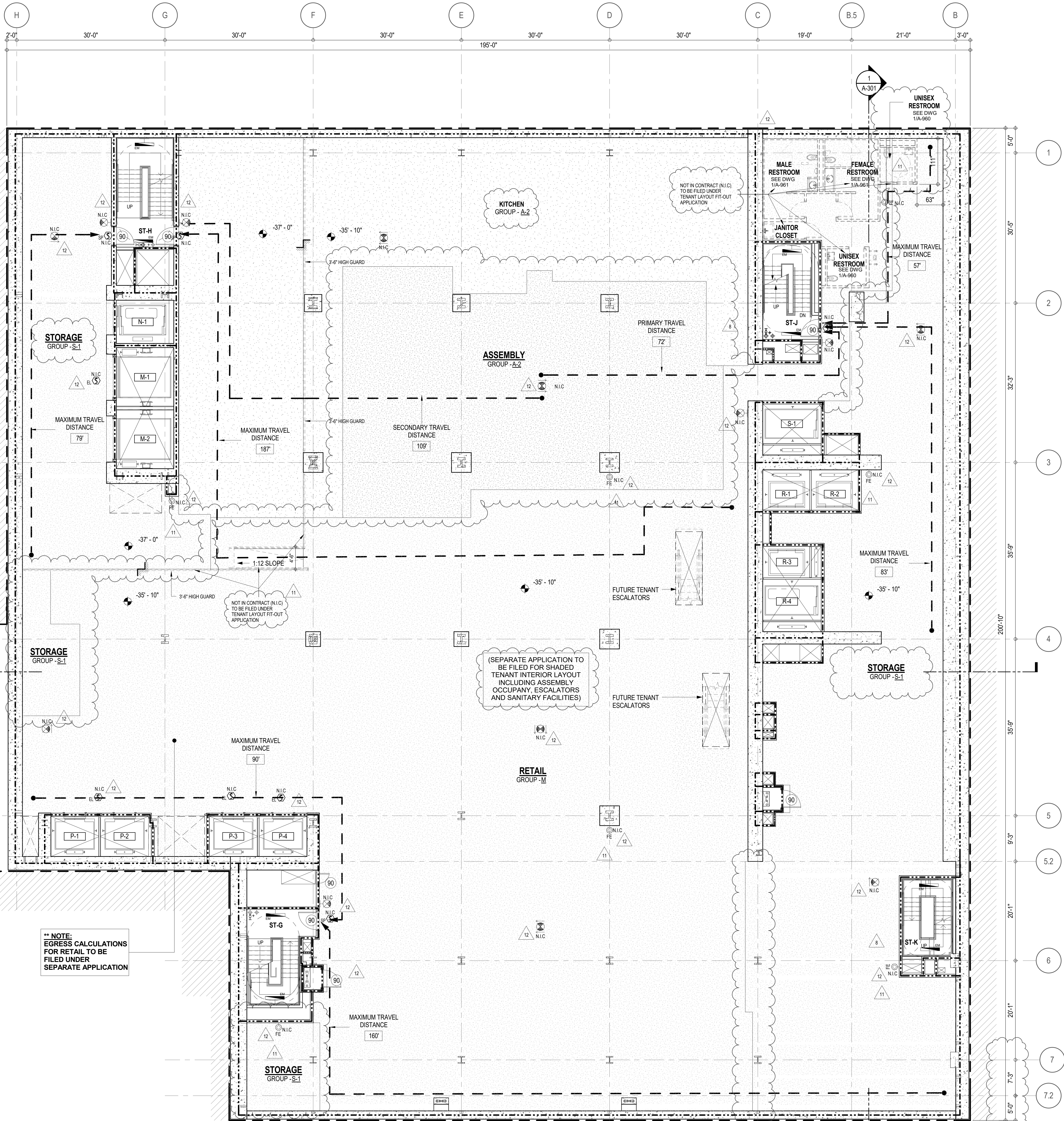
* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1000 P.): 1 REQUIRED, 1 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX BATHROOM

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC TABLE 1015.3)	DEAD END (BC TABLE 1015.3)
M	200'	75'	20'
A-2	150' (PRIMARY) / 250' (SECONDARY)	75'	20'
ACCESSORY TO R-1 (BC TABLE 1024.7)			



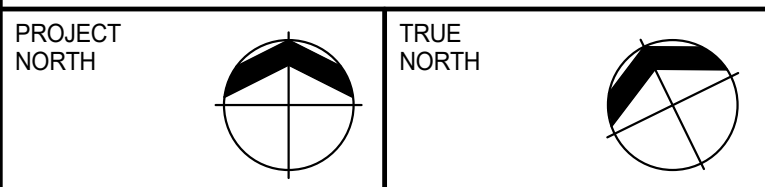
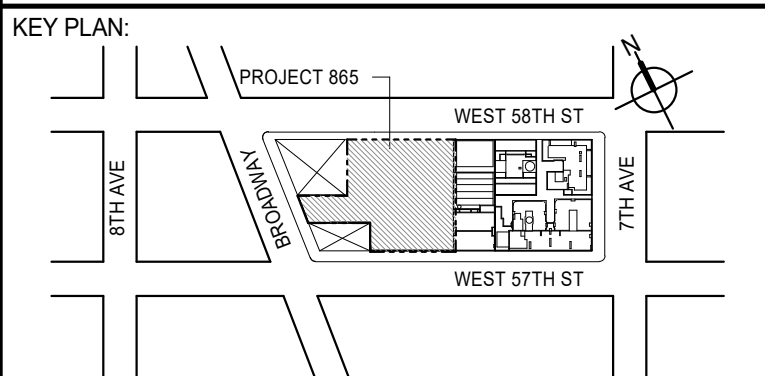
** NOTE:
EGRESS CALCULATIONS
FOR RETAIL TO BE
FILED UNDER
SEPARATE APPLICATION

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)



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INTERIOR DESIGNER: Residential
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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LANDMARK/PRESERVATION CONSULTANT:
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7	CD PROGRESS ISSUE 4	01 JUN 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 6	26 AUG 16
14	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
SUB CELLAR 1 FLOOR PLAN

SEAL & SIGNATURE	DATE: 15 OCT 14
PROJECT No: 1216-00	
DRAWN: Author	REV: 12
CHK: Checker	
SCALE: 1/8" = 1'-0"	
DWG No: A-033.02	
DOB PAGE No: 6 of 33	
DOB EMPLOYEE STAMP:	DOB S-CAN:

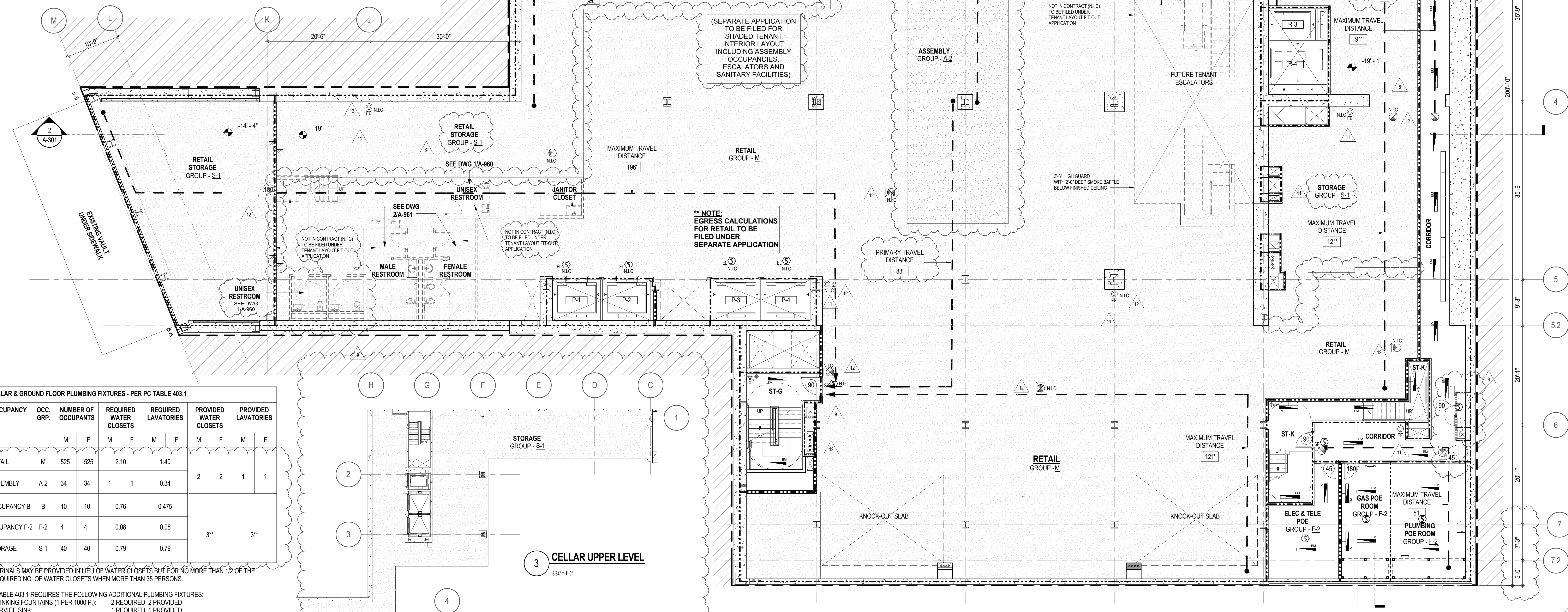
OCCUPANT LOADS SUMMARY CELLAR FLOOR PLAN				
OCCUPANT	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
ASSEMBLY	A-2	1,006 SF	15 SF	** 68
AC ROOM	F-2	189 SF	300 SF	** 1
ELEC & TELE POE	F-2	248 SF	300 SF	** 1
GAS POE ROOM	F-2	222 SF	300 SF	** 1
PLUMBING POE ROOM	F-2	344 SF	300 SF	** 2
TELECOM POE & MAIN EQUIPMENT ROOM	F-2	236 SF	300 SF	** 1
WATER POE & FIRE PUMP ROOM	F-2	536 SF	300 SF	** 2
RETAIL	M	18,326 SF	60 SF	** 306
RETAIL STORAGE	S-1	9,960 SF	306 SF	** 30
STORAGE	S-1	256 SF	300 SF	** 1
STORAGE	S-1	1,569 SF	300 SF	** 6
Grand total				** 419

OCCUPANT LOADS SUMMARY UPPER CELLAR FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
STORAGE	S-1	7,327 SF	300 SF	25
Grand total				25

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (746)	STAIR LOAD TOTAL (444)
STAIR - G	60"	0.3	200	** 145
STAIR - H	60"	0.3	200	** 145
STAIR - J	60"	0.3	200	** 146
STAIR - K	44"	0.3	146	** 8

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (770)	TOTAL (444)
STAIR - G - DOOR	40"	0.2	200	145
STAIR - H - DOOR	40"	0.2	200	145
STAIR - J - DOOR	40"	0.2	200	145
STAIR - K - DOOR	34"	0.2	170	8

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. RISER VERTICAL RISE
STAIR - G	11"	6.67"	31	116.81"
STAIR - H	11"	6.93"	35	97.19"
STAIR - J	11"	6.81"	37	129.94"
STAIR - K	11"	6.93"	33	111.00"



OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
		M	F	M	F	M	F	M	F	M	F
RETAIL	M	525	525	2.10		1.40		2	2	1	1
ASSEMBLY	A-2	34	34	1	1	0.34					
OCCUPANCY B	B	10	10	0.76		0.475					
OCCUPANCY F-2	F-2	4	4	0.08		0.08					
STORAGE	S-1	40	40	0.79		0.79					

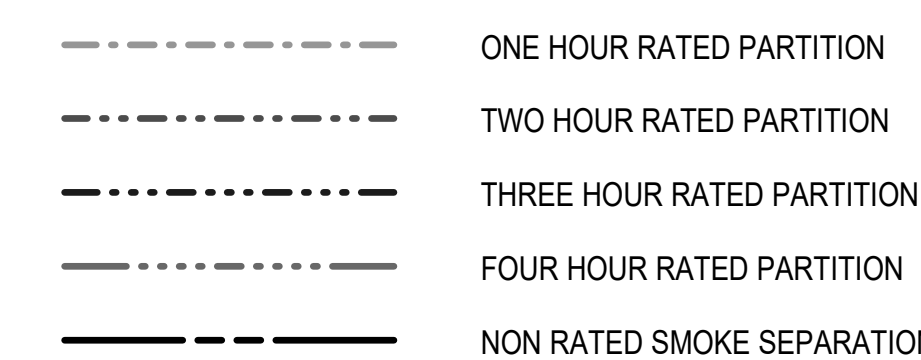
* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
 DRINKING FOUNTAINS (1 PER 1000 P.): 2 REQUIRED, 2 PROVIDED
 SERVICE SINK: 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX BATHROOM

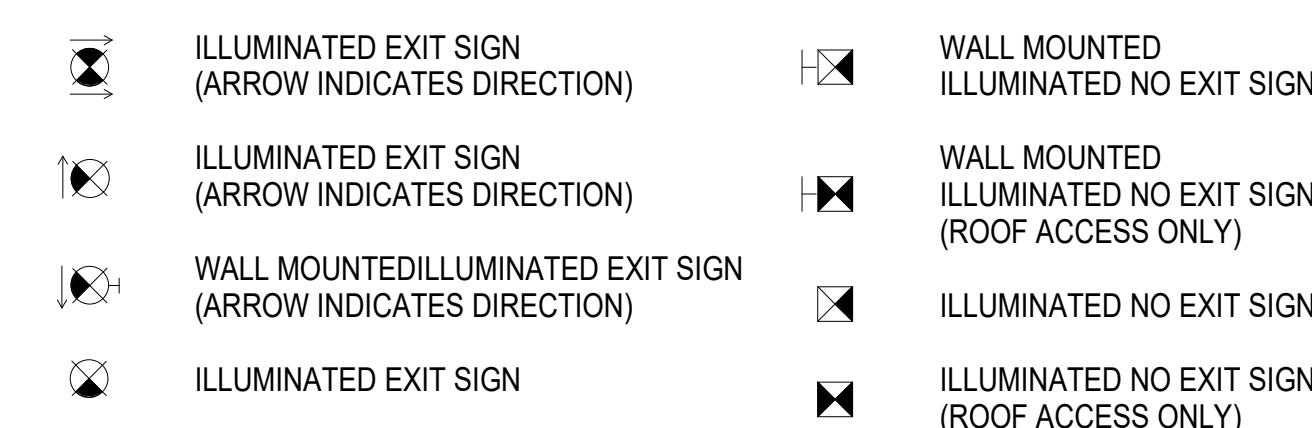
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
S-2	250'	100'	20'
F-2	250'	100'	50'
A-2 (ACCESSORY TO R-1 (BC TABLE 1024.7))	150' (PRIMARY) / 250' SECONDARY	75'	20'






EGRESS AND FIRE RATING LEGEND








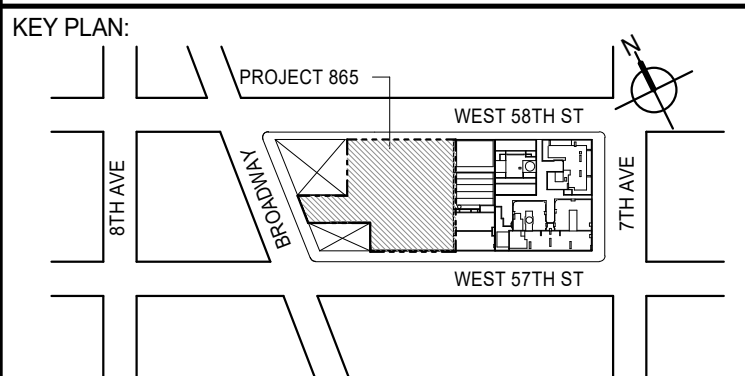
— — — — —	COMMON TRAVEL DISTANCE
• • • • •	DEAD END
— — — — —	MAXIMUM TRAVEL DISTANCE
— — — — —	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT



SYMBOLS LEGEND



	FEC FIRE EXTINGUISHER CABINET
	SPRINKLER HEAD (REFER TO FP DRAWINGS)
	STANDPIPE
	SPRINKLER RISER
	SIAMESE CONNECTION

	SMOKE DETECTOR
	SMOKE /CARBON MONOXIDE DETECTOR
	CEILING MOUNTED EMERGENCY LIGHT
	WALL MOUNTED EMERGENCY LIGHT
	DOOR RATING (MINUTES)



PROJECT NORTH		TRUE NORTH	
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DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
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INTERIOR DESIGNER: Residential

Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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228 EAST 45th Street
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TEL: 212-697-0001 FAX: 212-697-0001

MEP ENGINEERS:

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA

TEL: 212 354 5656 FAX: 212 354 5668
 GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
 21 Penn Plaza - 360 West 31st Street, 8th Floor

New York, NY 10001-2727
 TEL: 212 479 5400 FAX: 212 479 5444
 CODE CONSULTANTS:
Construction Consulting Associates
 100 Church Street

TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting

40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Ian Hird Pokorny Associates, Inc.

39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540		
No	DESCRIPTION	DATE

1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	09 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
12	CD PROGRESS ISSUE 7	29 JAN 16
13	CD ISSUE 8 - GMP SET	31 MAR 16
14	CD BULLETIN ISSUE - 6	26 AUG 16
15	D.O.B. AMENDMENT 4	12 DEC 17

0	4' - 0"	8' - 0"	16' - 0"
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D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

A A A T



AAI
ARCHITECTS, P.C.

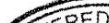
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY


DRAWING TITLE:

CELLAR FLOOR PLAN

SEAL & SIGNATURE:		DATE:	15 OCT 1
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PROJECT No: 1216-0	
DRAWN: Author	REV: 12
CHK: Checker	
SCALE: As indicated	



NO. 028881
STATE OF NEW YORK

DWG No: **A-034.02**



















DOB PAGE No: 7 of 33	
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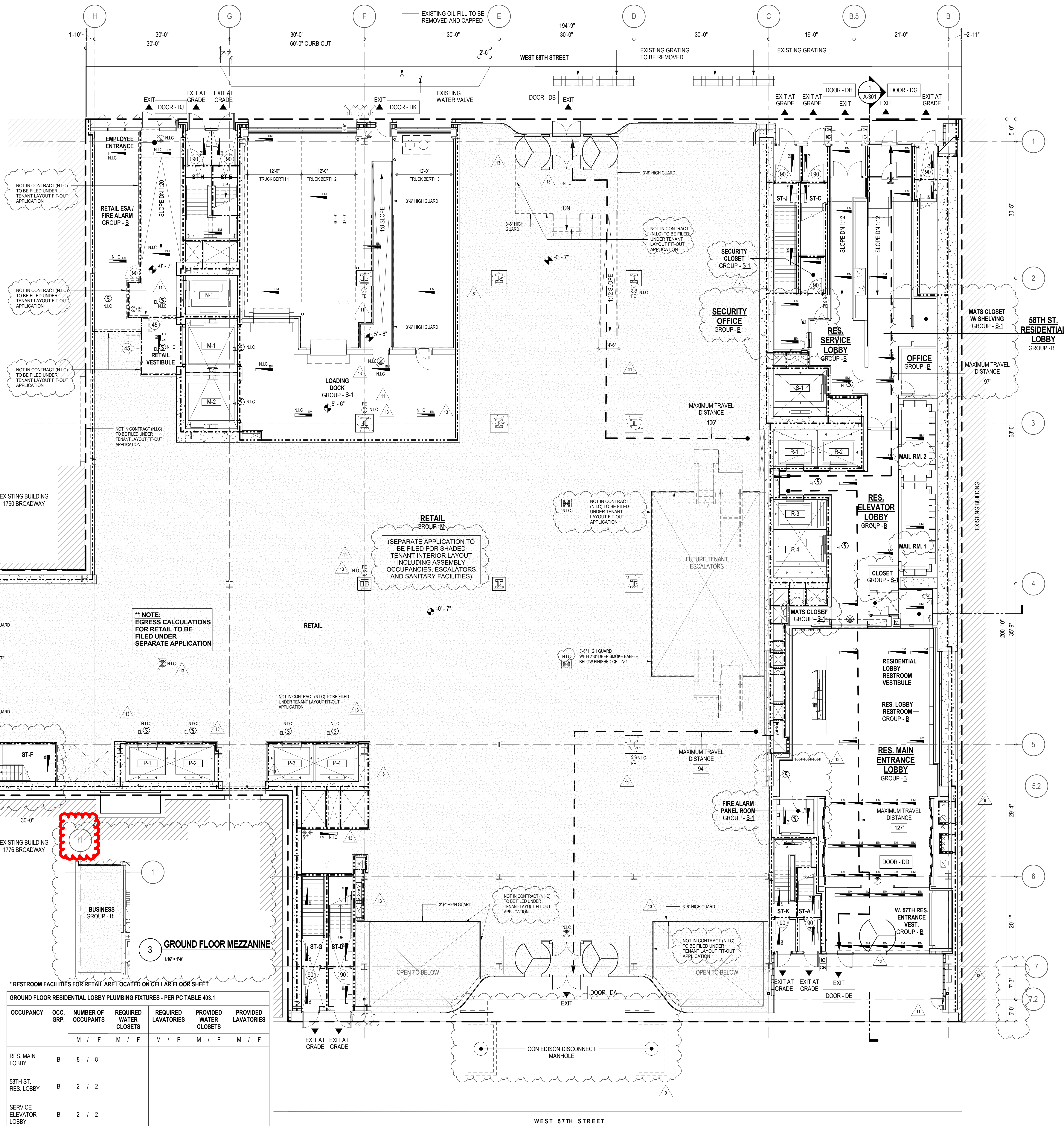
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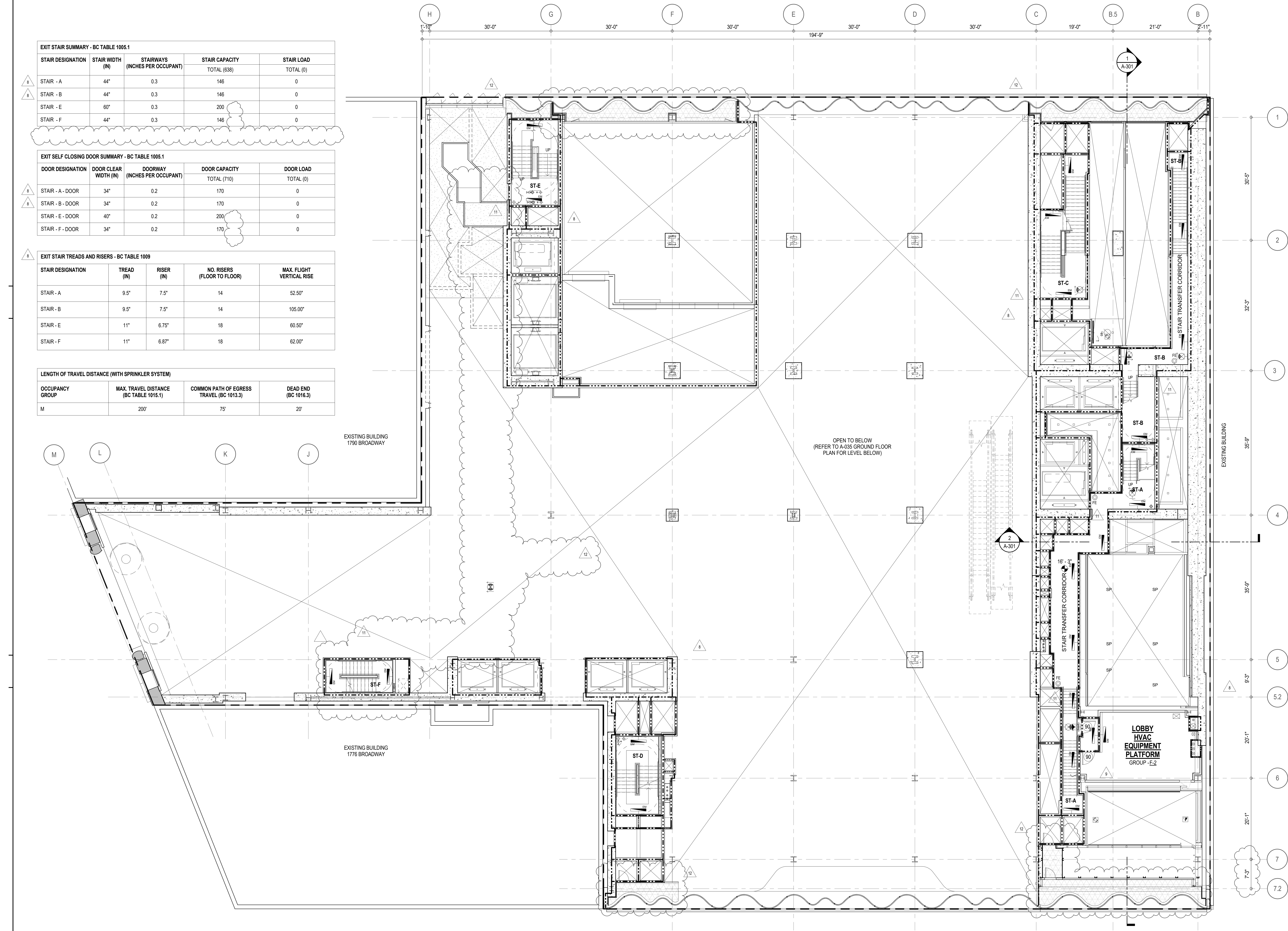
[illegible]

SYMBOLS LEGEND	
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	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
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	ILLUMINATED EXIT SIGN
	ILLUMINATED NO EXIT SIGN
	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
	WALL MOUNTED ILLUMINATED NO EXIT SIGN
	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
	STANDPIPE
	SPRINKLER RISER
	SIAMESE CONNECTION
	SMOKE DETECTOR
	SMOKE (CARBON MONOXIDE) DETECTOR
	CEILING MOUNTED EMERGENCY LIGHT
	WALL MOUNTED EMERGENCY LIGHT
	DOOR RATING (MINUTES)
	FEC FIRE EXTINGUISHER CABINET
	SPRINKLER HEAD (REFER TO FP DRAWINGS)

** SHARED UNISEX BATHROOM

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 1	24 JUL 15
9	CD PROGRESS ISSUE 5	10 AUG 15
10	D.O.B. AMENDMENT 2	21 SEP 15
11	CD PROGRESS ISSUE 6	02 NOV 15
12	CD PROGRESS ISSUE 7	14 JAN 16
13	CD PROGRESS ISSUE 8	29 JAN 16
14	ISSUE 8 - GMP SET	31 MAR 16
15	CD BULLETIN ISSUE - 1	22 APR 16
16	CD BULLETIN ISSUE - 6	26 AUG 16
17	D.O.B. AMENDMENT 4	12 DEC 17

[illegible]



EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (638)	TOTAL (0)
STAIR - A	44"	0.3	146	0
STAIR - B	44"	0.3	146	0
STAIR - E	60"	0.3	200	0
STAIR - F	44"	0.3	146	0

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (710)	TOTAL (0)
STAIR - A - DOOR	34"	0.2	170	0
STAIR - B - DOOR	34"	0.2	170	0
STAIR - E - DOOR	40"	0.2	200	0
STAIR - F - DOOR	34"	0.2	170	0

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.5"	14	52.50"
STAIR - B	9.5"	7.5"	14	105.00"
STAIR - E	11"	6.75"	18	60.50"
STAIR - F	11"	6.87"	18	62.00"

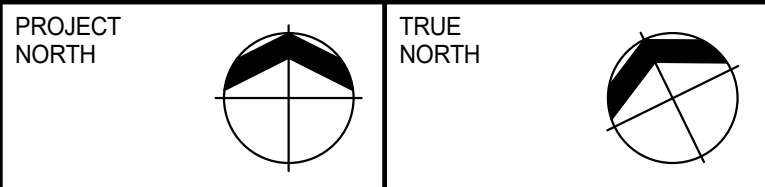
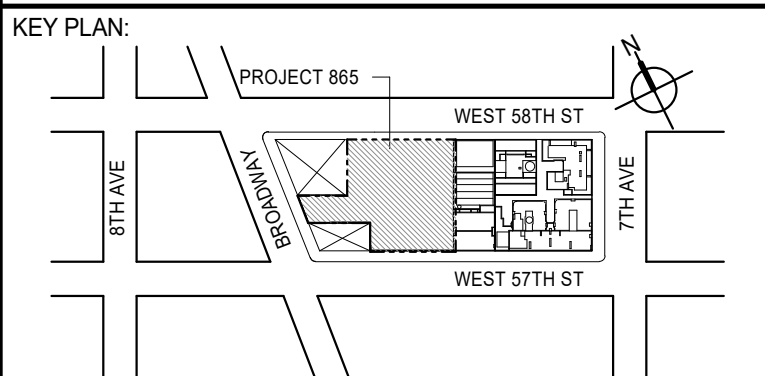
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'

EGRESS AND FIRE RATING LEGEND

ONE HOUR RATED PARTITION	COMMON TRAVEL DISTANCE
TWO HOUR RATED PARTITION	DEAD END
THREE HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE
FOUR HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
NON RATED SMOKE SEPARATION	

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)



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No.	DESCRIPTION	DATE
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7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 1	24 JUL 15
9	CD PROGRESS ISSUE 5	10 AUG 15
10	D.O.B. AMENDMENT 2	21 SEP 15
11	CD PROGRESS ISSUE 6	02 NOV 15
12	CD BULLETIN ISSUE - 6	26 AUG 16
13	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **GROUND FLOOR INTERMEDIATE STAIR
TRANSFER FLOOR PLAN**

SEAL & SIGNATURE: DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-036.03**

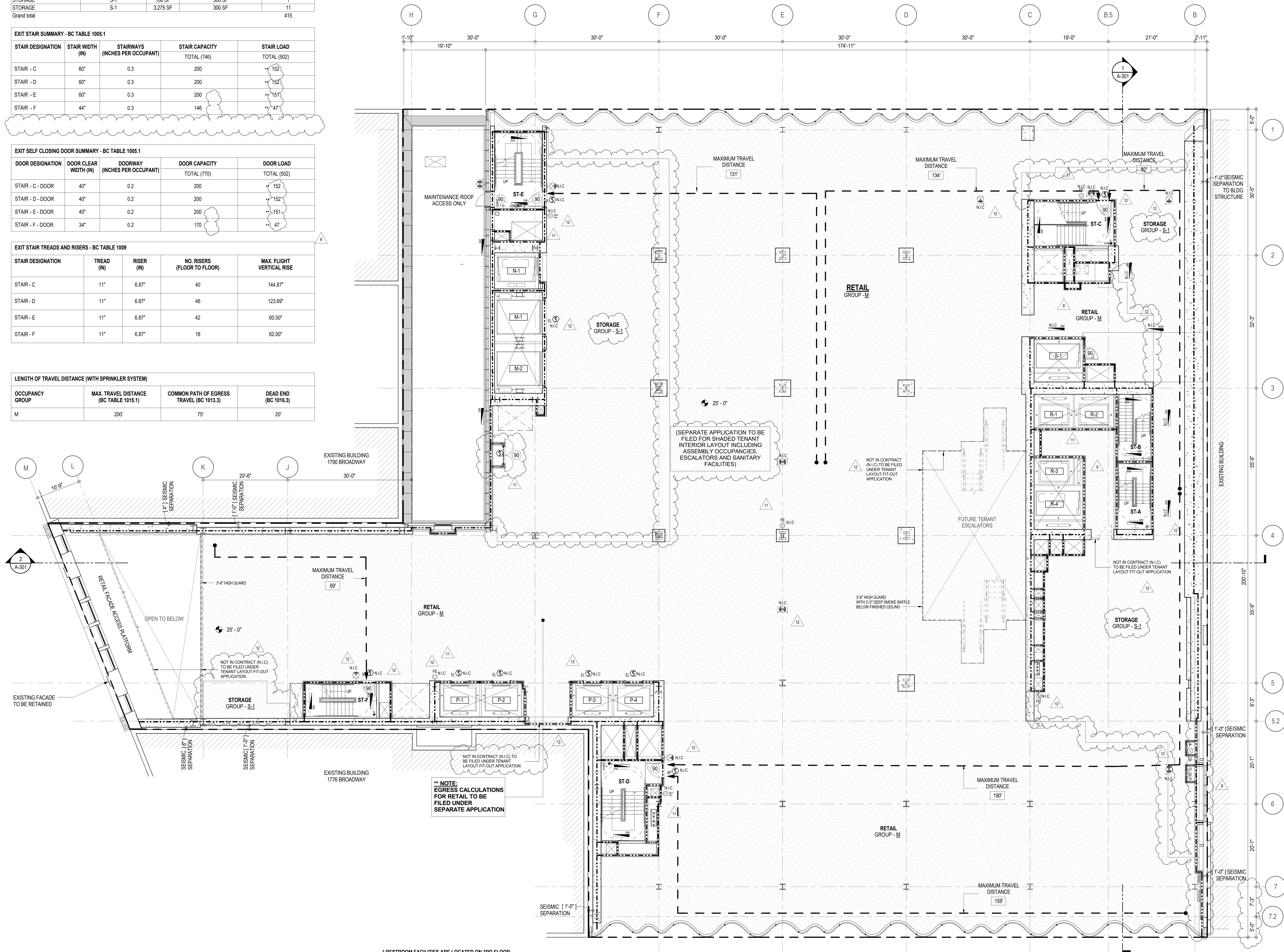
DOB EMPLOYEE STAMP: 9 of 33 DOB 5-SCAN:

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (746)	TOTAL (502)
STAIR - C	60"	0.3	200	152
STAIR - D	60"	0.3	200	152
STAIR - E	60"	0.3	200	151
STAIR - F	44"	0.3	146	47

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (770)	DOOR LOAD TOTAL (502)
STAIR - C - DOOR	40"	0.2	200	152
STAIR - D - DOOR	40"	0.2	200	152
STAIR - E - DOOR	40"	0.2	200	151
STAIR - F - DOOR	34"	0.2	170	47

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	6.87"	40	144.87"
STAIR - D	11"	6.87"	46	123.69"
STAIR - E	11"	6.87"	42	60.50"
STAIR - F	11"	6.87"	18	62.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'





















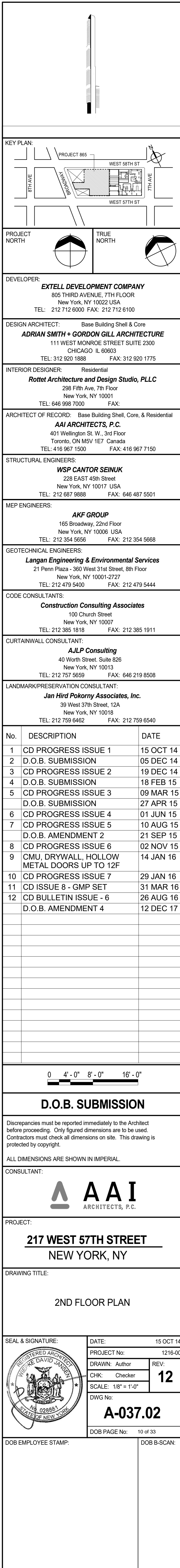
* RESTROOM FACILITIES ARE LOCATED ON 3RD FLOOR

EGRESS AND FIRE RATING LEGEND

— — — — —	ONE HOUR RATED PARTITION	— — — — —	COMMON TRAVEL DISTANCE
—	TWO HOUR RATED PARTITION	DEAD END
—	THREE HOUR RATED PARTITION	— — — — —	MAXIMUM TRAVEL DISTANCE
— — — — —	FOUR HOUR RATED PARTITION	— — — — —	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
— — — — —	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN		FIRE EXTINGUISHER CABINET		SMOKE DETECTOR
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SPRINKLER HEAD (REFER TO FF DRAWINGS)		SMOKE (CARBON MONOXIDE) DETECTOR
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		ILLUMINATED NO EXIT SIGN		STANDPIPE		CEILING MOUNTED EMERGENCY LIGHT
	ILLUMINATED EXIT SIGN		ILLUMINATED NO EXIT SIGN		SPRINKLER RISER		WALL MOUNTED EMERGENCY LIGHT
	SIAMESE CONNECTION		90		DOOR RATING (MINUTES)		



OCCUPANT LOADS SUMMARY 3RD FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RETAIL	M	26,379 SF	60 SF	** 440
ASSEMBLY	A-2	1,274 SF	15 SF	** 85
STORAGE	S-1	2,124 SF	300 SF	** 8
STORAGE	S-1	189 SF	300 SF	** 1
STORAGE	S-1	1,311 SF	300 SF	** 5
Grand total				** 539

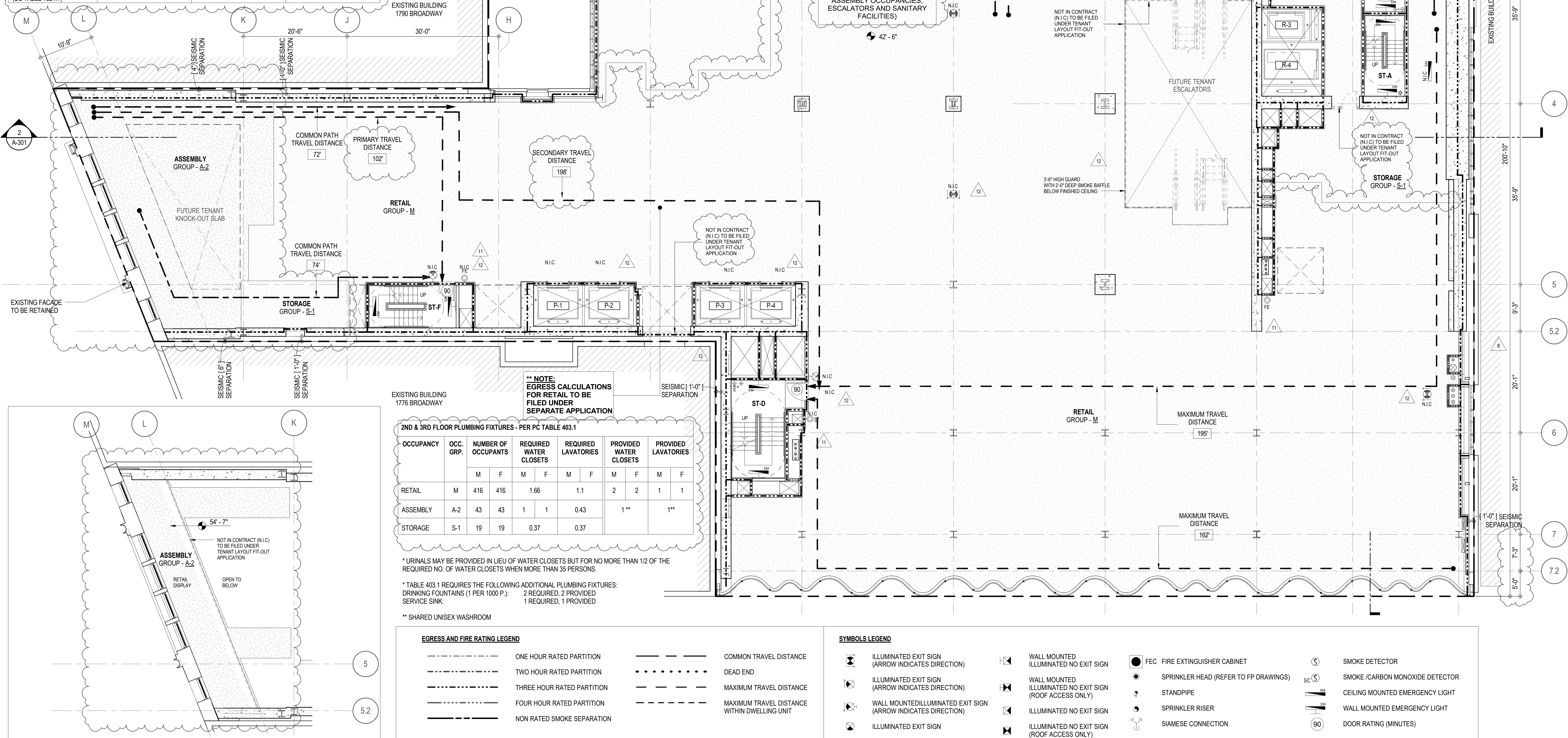
OCCUPANT LOADS SUMMARY INTERMEDIATE 1780 FACADE ACCESS PLATFORM				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
ASSEMBLY	A-2	690 SF	15 SF	** 46
Grand total				** 46

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (746)	STAIR LOAD TOTAL (585)
STAIR - C	60"	0.3	200	** 147
STAIR - D	60"	0.3	200	** 146
STAIR - E	60"	0.3	200	** 146
STAIR - F	44"	0.3	146	** 146

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (770)	DOOR LOAD TOTAL (585)
STAIR - C - DOOR	40"	0.2	200	** 147
STAIR - D - DOOR	40"	0.2	200	** 146
STAIR - E - DOOR	40"	0.2	200	** 146
STAIR - F - DOOR	34"	0.2	170	** 146

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	7"	30	56.00"
STAIR - D	11"	7"	30	56.00"
STAIR - E	11"	7"	30	56.00"
STAIR - F	11"	7"	30	56.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
A-2	150' (PRIMARY) / 250' (SECONDARY)	75'	20'
ACCESSORY TO R-1 (BC TABLE 1024.7)			



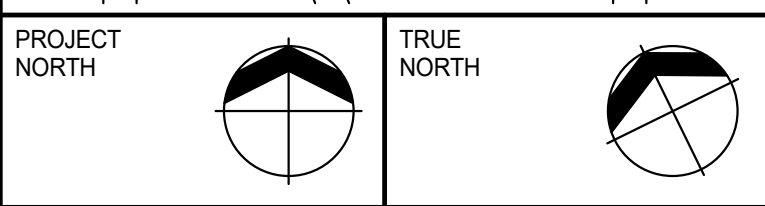
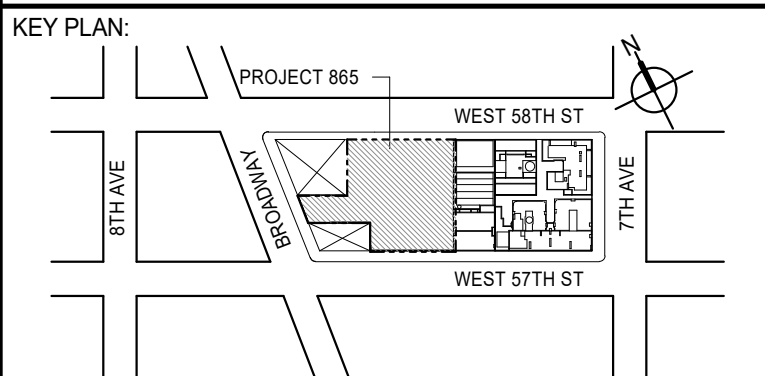
2ND & 3RD FLOOR PLUMBING FIXTURES - PER PC TABLE 403.1									
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS	
RETAIL	M	416	416	1.66	1.1	2	2	1	1
ASSEMBLY	A-2	43	43	1	0.43	1**		1**	
STORAGE	S-1	19	19	0.37	0.37				

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1000 P.): 2 REQUIRED, 2 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX WASHROOM

EGRESS AND FIRE RATING LEGEND				SYMBOLS LEGEND			
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE	☼	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☼	WALL MOUNTED ILLUMINATED NO EXIT SIGN
---	TWO HOUR RATED PARTITION	---	DEAD END	☼	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☼	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE	☼	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	☼	ILLUMINATED NO EXIT SIGN
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT	☼	ILLUMINATED EXIT SIGN	☼	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
---	NON RATED SMOKE SEPARATION						



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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
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7	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
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9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD PROGRESS ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 6	26 AUG 16
12	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:



PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE:

3RD FLOOR PLAN

SEAL & SIGNATURE:	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHK: Checker
	REV: 12
DWG No:	SCALE: 1/8" = 1'-0"
DOB EMPLOYEE STAMP:	DOB PAGE No: 11 of 33
	DOB 5-SCAN:

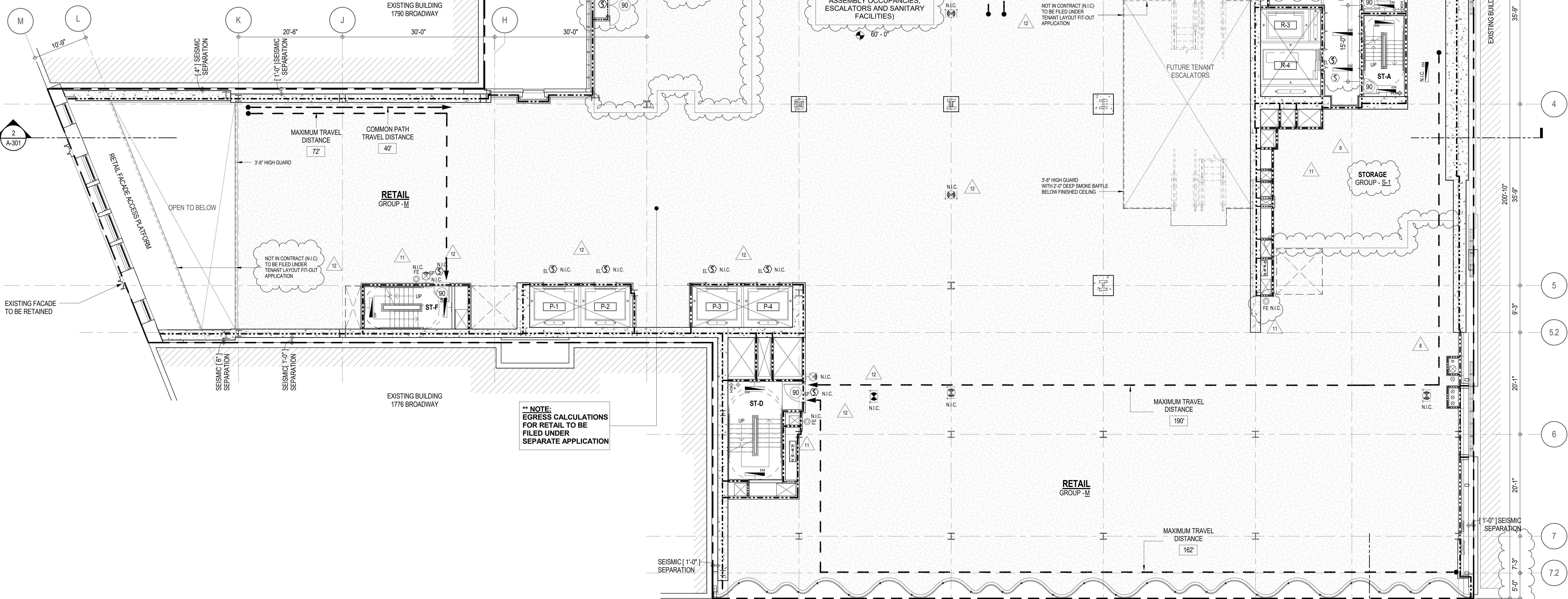
OCCUPANT LOADS SUMMARY 4TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
RETAIL	M	26,741 SF	60 SF	446
STORAGE	S-1	1,476 SF	300 SF	5
STORAGE	S-1	1,406 SF	300 SF	5
Grand total				456

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (746)	STAIR LOAD TOTAL (456)
STAIR - C	60"	0.3	200	136
STAIR - D	60"	0.3	200	136
STAIR - E	60"	0.3	200	136
STAIR - F	44"	0.3	146	48

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1			
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (770)
STAIR - C - DOOR	40"	0.2	200
STAIR - D - DOOR	40"	0.2	200
STAIR - E - DOOR	40"	0.2	200
STAIR - F - DOOR	34"	0.2	170

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	7"	30	56.00"
STAIR - D	11"	7"	30	56.00"
STAIR - E	11"	7"	30	56.00"
STAIR - F	11"	7"	30	56.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'



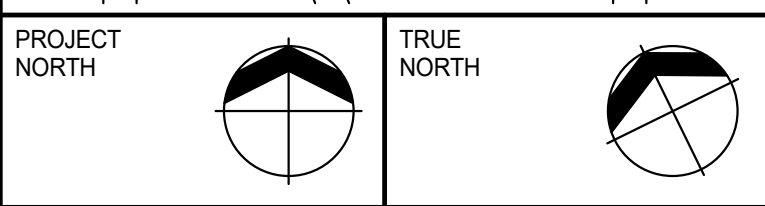
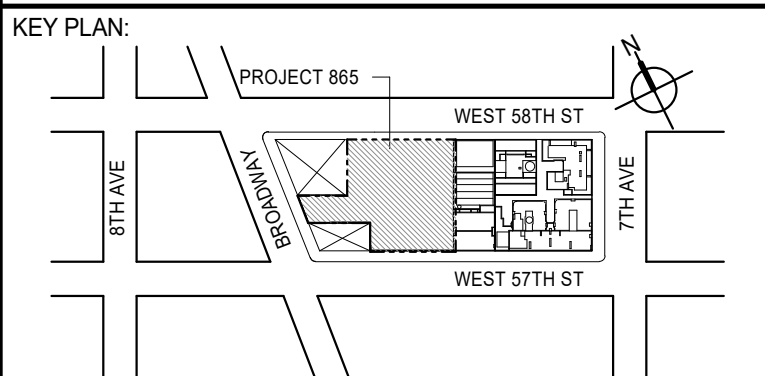
* RESTROOM FACILITIES ARE LOCATED ON 5TH FLOOR

EGRESS AND FIRE RATING LEGEND

ONE HOUR RATED PARTITION	COMMON TRAVEL DISTANCE
TWO HOUR RATED PARTITION	DEAD END
THREE HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE
FOUR HOUR RATED PARTITION	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
NON RATED SMOKE SEPARATION	

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)



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7	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 6	26 AUG 16
	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:

4TH FLOOR PLAN

SEAL & SIGNATURE	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHK: Checker
	SCALE: 1/8" = 1'-0"
DWG No:	REV: 12
	DOB PAGE No: 12 of 33
	DOB 5-SCAN:

OCCUPANT LOADS SUMMARY 5TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
ASSEMBLY	A-2	2,404 SF	15 SF	161
KITCHEN	A-2	1,486 SF	15 SF	100
RETAIL	M	21,188 SF	60 SF	353
STORAGE	S-1	1,226 SF	300 SF	5
STORAGE	S-1	1,537 SF	300 SF	6
Grand Total				634

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (746)	STAIR LOAD TOTAL (634)
STAIR - C	60"	0.3	200	164
STAIR - D	60"	0.3	200	164
STAIR - E	60"	0.3	200	164
STAIR - F	44"	0.3	146	142

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

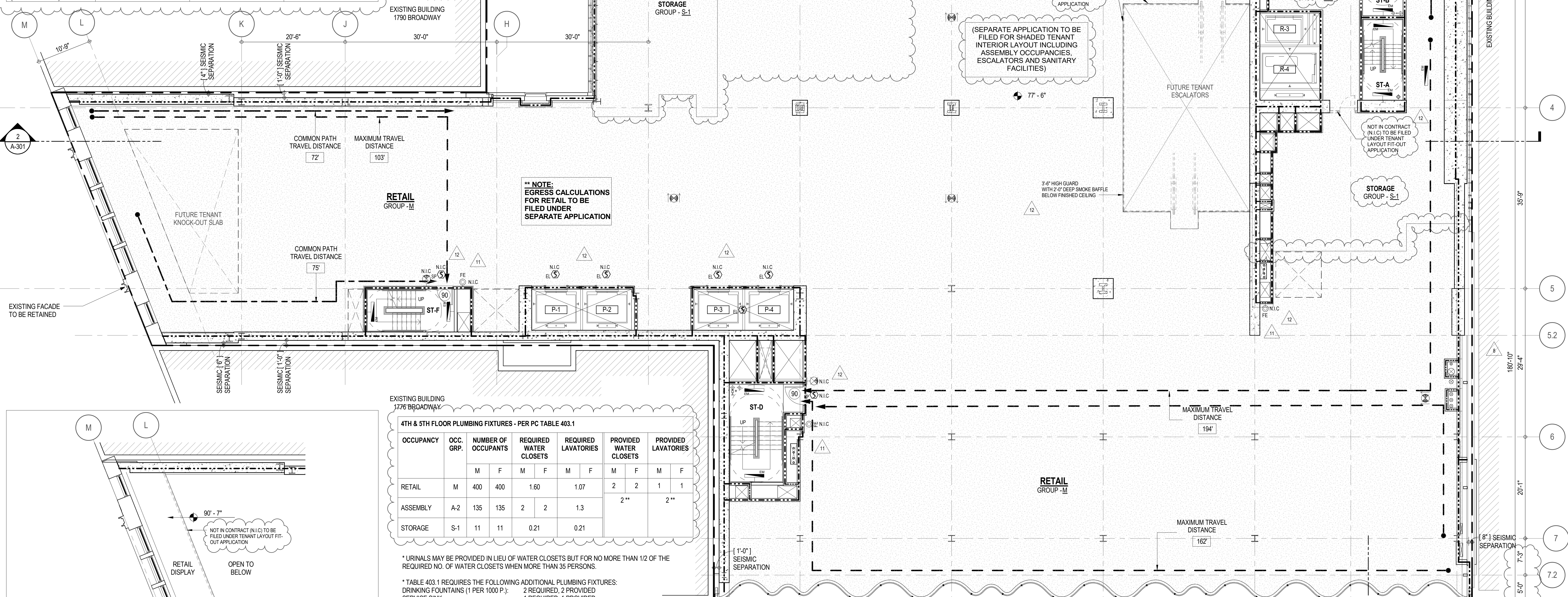
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (770)	DOOR LOAD TOTAL (634)
STAIR - C - DOOR	40"	0.2	200	164
STAIR - D - DOOR	40"	0.2	200	164
STAIR - E - DOOR	40"	0.2	200	164
STAIR - F - DOOR	34"	0.2	170	142

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - C	11"	7"	30	70.00"
STAIR - D	11"	7"	30	56.00"
STAIR - E	11"	7"	30	56.00"
STAIR - F	11"	7"	30	56.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
M	200'	75'	20'
A-2	150' (PRIMARY) / 250' (SECONDARY)	75'	20'
ACCESSORY TO R-1 (BC TABLE 1024.7)			



NOTE: EGRESS CALCULATIONS FOR RETAIL TO BE FILED UNDER SEPARATE APPLICATION

EXISTING BUILDING 1730 BROADWAY

4TH & 5TH FLOOR PLUMBING FIXTURES - PER PC TABLE 403.1

OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
		M	F	M	F	M	F	M	F	M	F
RETAIL	M	400	400	1.60	1.07	2	2	1	1		
ASSEMBLY	A-2	135	135	2	2	1.3		2			
STORAGE	S-1	11	11	0.21	0.21						

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES: DRINKING FOUNTAINS (1 PER 1000 P.); 2 REQUIRED, 2 PROVIDED SERVICE SINK; 1 REQUIRED, 1 PROVIDED

** SHARED UNISEX RESTROOM

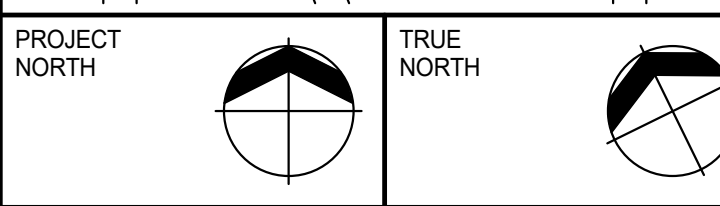
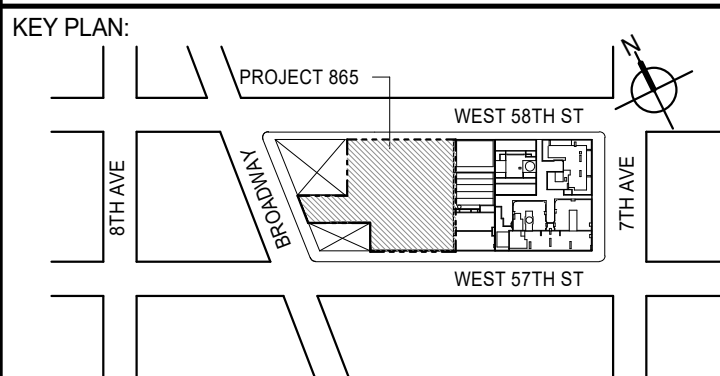
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)

INTERMEDIATE 1780 FACADE ACCESS PLATFORM



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
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TEL: 212 712 6000 FAX: 212 712 6100

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INTERIOR DESIGNER: **Residential**
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CURTAINWALL CONSULTANT: **AJLP Consulting**
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LANDMARK PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 6	26 AUG 16
13	ASI ISSUE - 11	16 DEC 16
	D.O.B. AMENDMENT 4	12 DEC 17

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

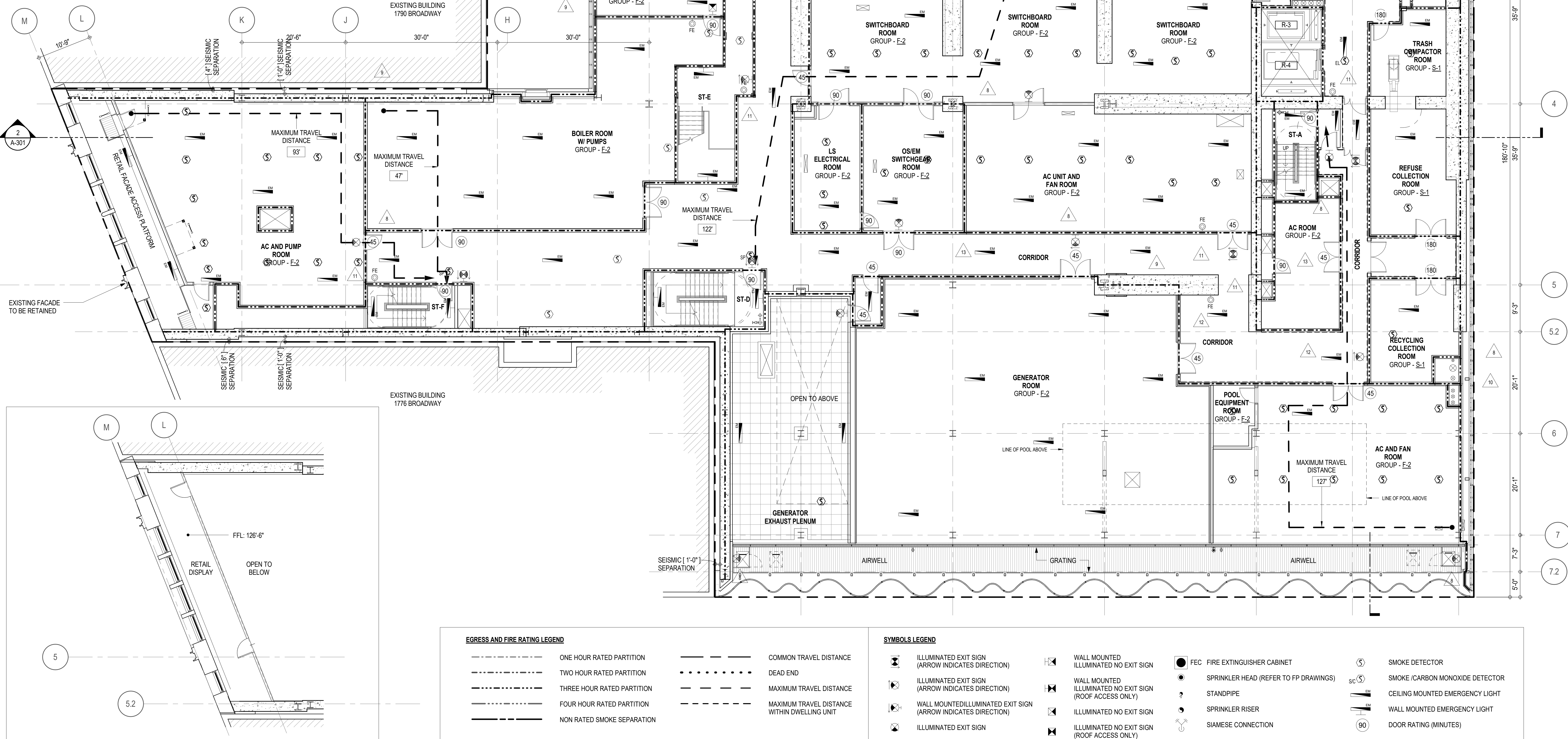
DRAWING TITLE:

5TH FLOOR PLAN

SEAL & SIGNATURE	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHK: Checker
	SCALE: 1/8" = 1'-0"
DWG No:	REV: 13
	DOB PAGE No: 13 of 33
	DOB B-SCAN:

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (1110)	DOOR LOAD TOTAL (77)
STAIR - A - DOOR	34"	0.2	170	12
STAIR - B - DOOR	34"	0.2	170	12
STAIR - C - DOOR	40"	0.2	200	14
STAIR - D - DOOR	40"	0.2	200	14
STAIR - E - DOOR	40"	0.2	200	15
STAIR - F - DOOR	34"	0.2	170	10



INTERMEDIATE 1780 FACADE ACCESS PLATFORM

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	08 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 SEP 15
	D.O.B. AMENDMENT 2	21 AUG 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CMU DRYWALL - FOLLOW UP WORK UP TO 12F	14 JAN 16
10	CD PROGRESS ISSUE 7	29 JAN 16
11	ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16
	D.O.B. AMENDMENT 4	12 DEC 17

0	4' - 0"	8' - 0"	16' - 0"
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D.O.B. SUBMISSION

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PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

7TH FLOOR PLAN

	DATE: 15 OCT 14	
	PROJECT No: 1216-00	
	DRAWN: Author	REV:
	CHK: Checker	13
	SCALE: 1/8" = 1'-0"	
DWG No:		
A-042.03		

DOB EMPLOYEE STAMP:		DOB B-SCAN:
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DOB B-SCAN:	
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OCCUPANT LOADS SUMMARY 8TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
LOUNGE	A-2	1,262 SF	15 SF	85*
RESIDENTIAL AMENITY POOL	A-2	1,050 SF	50 SF	21
RESIDENTIAL OUTDOOR AMENITY SPACE	A-2	8,367 SF	15 SF	558
SCREENING ROOM	A-2	1,311 SF	15 SF	88*
A-2				752

FACADE MAINTENANCE SPACE	F-2	282 SF	300 SF	1
STAFF BATHROOM	F-2	69 SF	300 SF	1*
F-2 (ACCESSORY SPACE)				2

CONFERENCE ROOM	R-2	253 SF	15 SF	17*
PAINTRY	R-2	699 SF	200 SF	3*
TWEEN LOUNGE	R-2	411 SF	15 SF	28*
R-2				49
Grand total				802

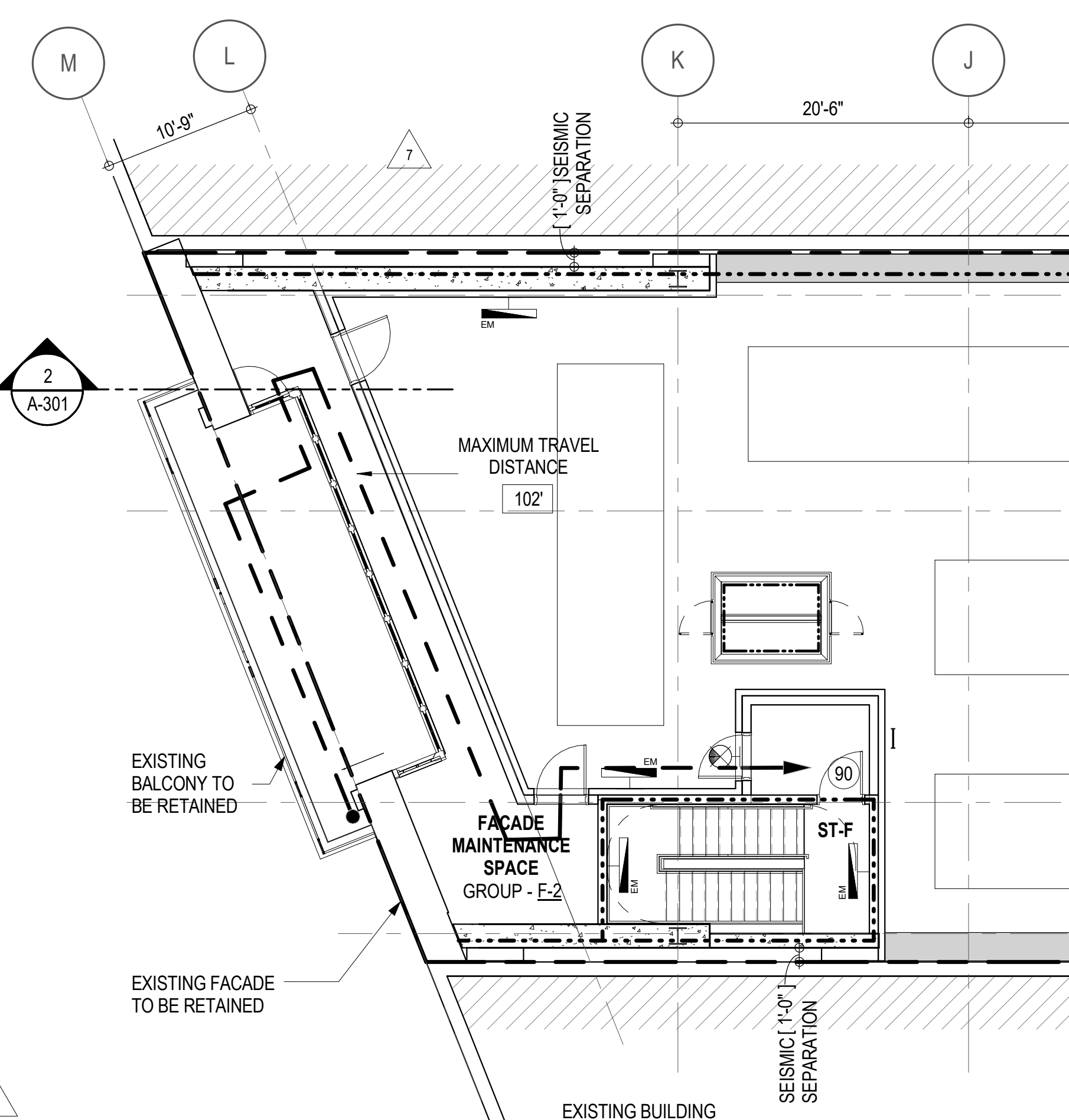
* INTERIOR SPACES: ONLY TO USE EXIT STAIRS A AND B. TOTAL INTERIOR OCCUPANT LOAD = 222

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (1038)	STAIR LOAD TOTAL (802)
STAIR - A	44"	0.3	146	111
STAIR - B	44"	0.3	146	111
STAIR - C	60"	0.3	200	193
STAIR - D	60"	0.3	200	193
STAIR - E	60"	0.3	200	193
STAIR - F	44"	0.3	146	111

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (1110)	DOOR LOAD TOTAL (802)
STAIR - A - DOOR	34"	0.2	170	111
STAIR - B - DOOR	34"	0.2	170	111
STAIR - C - DOOR	40"	0.2	200	193
STAIR - D - DOOR	40"	0.2	200	193
STAIR - E - DOOR	40"	0.2	200	193
STAIR - F - DOOR	34"	0.2	170	111



EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.69"	33	76.69"
STAIR - B	9.5"	7.69"	33	76.69"
STAIR - C	11"	7"	36	126.00"
STAIR - D	11"	6.81"	37	81.73"
STAIR - E	11"	6.81"	37	68.11"
STAIR - F	11"	6.81"	37	73.33"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'
S-2	250'	100'	20'
A-2	PRIMARY = 150'	SECONDARY = 250'	20'

PLUMBING FIXTURES - PER PC TABLE 403.1

(BASED ON NON-SIMULTANEOUS SEASONAL OUTDOOR OCCUPANCY)

OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
		M50%	F50%	M	F	M	F	M	F	M	F
RESIDENTIAL OUTDOOR AMENITY SPACE	A-2	290	290	4	8	2	2				
			<div>14</div>					6	10	3	4
LOUNGE / SCREENING RM.	A-2	87	87	2	2	1	1				
ASSEMBLY	A-2 (TOTALS)			6	10	3	3	6	10	3	4
ACCESSORY	R-2	24	24	1	1	1	1	1	1	1	1

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

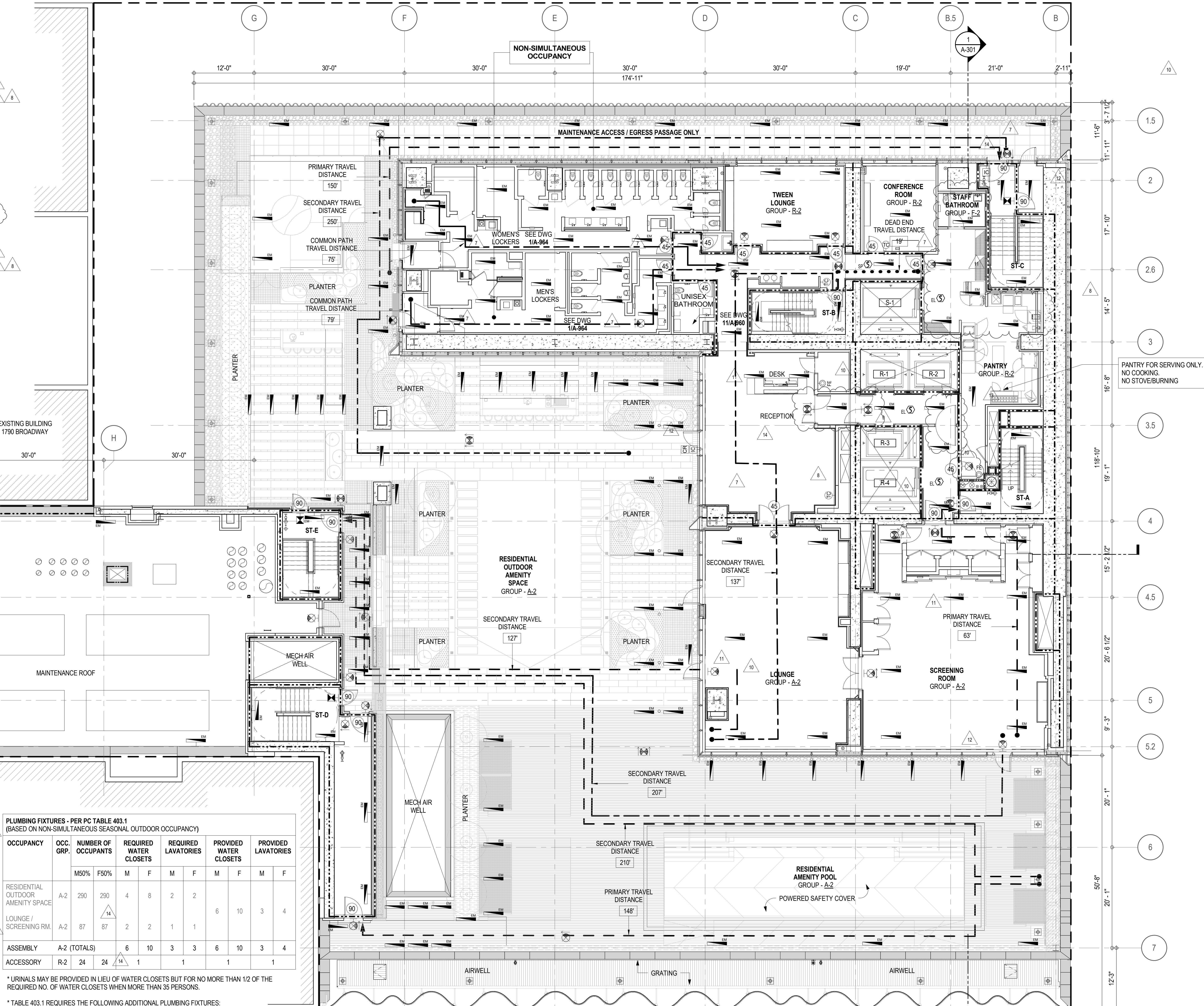
* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES: DRINKING FOUNTAINS (1 PER 500 P.); 2 REQUIRED, 2 PROVIDED; SERVICE SINK; 1 REQUIRED, 1 PROVIDED

EGRESS AND FIRE RATING LEGEND

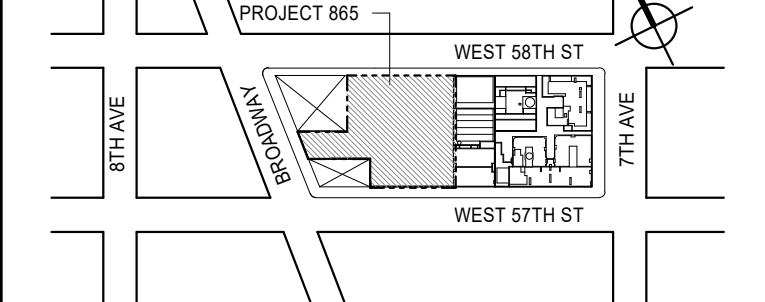
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

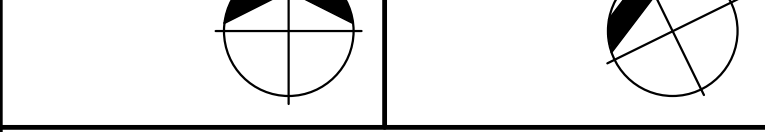
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)



KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
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1	CD PROGRESS ISSUE 1	15 OCT 14
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3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD ISSUE 8 - GMP SET	29 JAN 16
12	CD BULLETIN ISSUE - 1	31 MAR 16
13	CD BULLETIN ISSUE - 2	22 APR 16
14	D.O.B. AMENDMENT 3	11 MAY 16
15	ASI ISSUE - 11	03 OCT 16
16	CD BULLETIN ISSUE - 9	16 DEC 16
17	D.O.B. AMENDMENT 4	13 FEB 17
18	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

8TH FLOOR PLAN

SEAL & SIGNATURE:

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

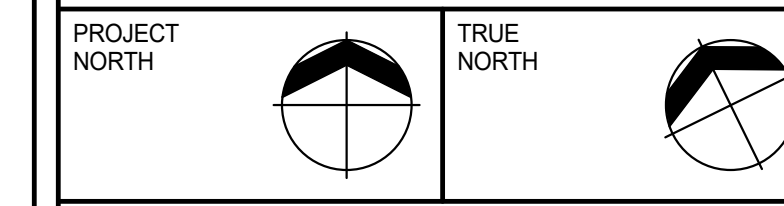
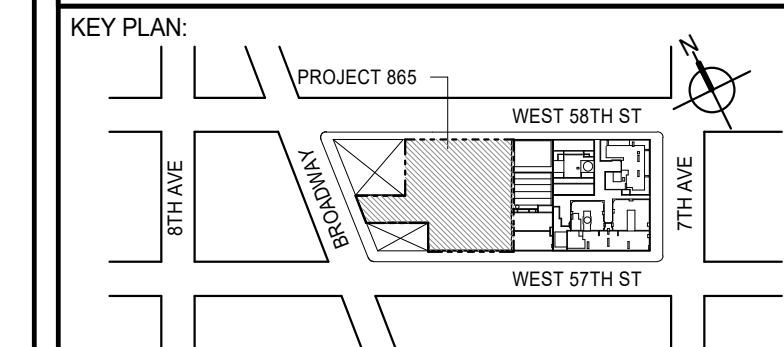
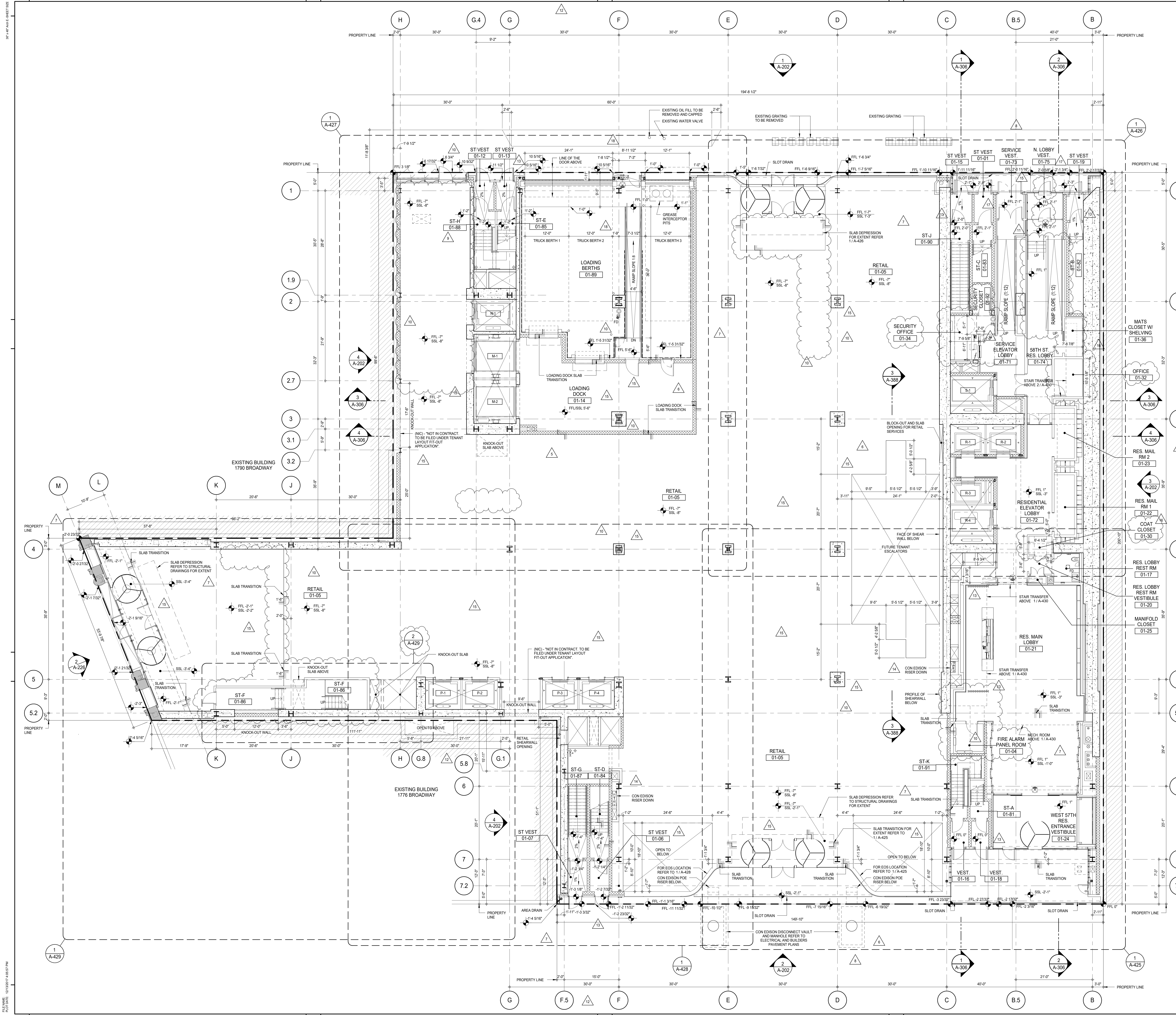
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DWG No:

A-043.03

DOB PAGE No: 16 of 33

DOB 5-SIGN:



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MEP ENGINEERS:
AKF GROUP
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TEL: 212 354 5655 FAX: 212 354 5668

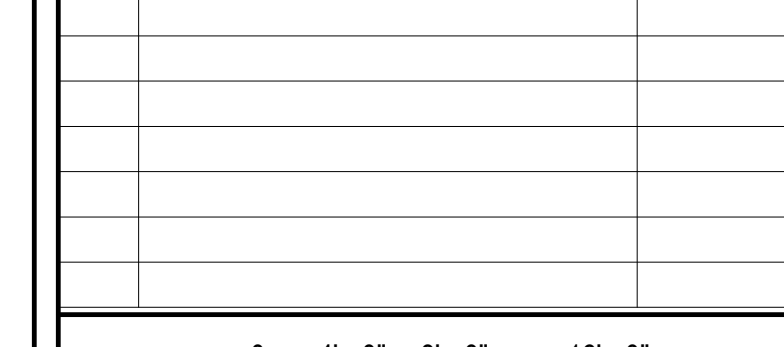
GEOTECHNICAL ENGINEERS:
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4	CD PROGRESS ISSUE 3	09 MAR 15
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6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
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16	CD BULLETIN ISSUE - 5	12 AUG 16
17	CD BULLETIN ISSUE - 6	26 AUG 16
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19	CD BULLETIN ISSUE - 9	13 FEB 17
20	ASI ISSUE - 22	20 JUL 17
21	D.O.B. AMENDMENT 4	12 DEC 17



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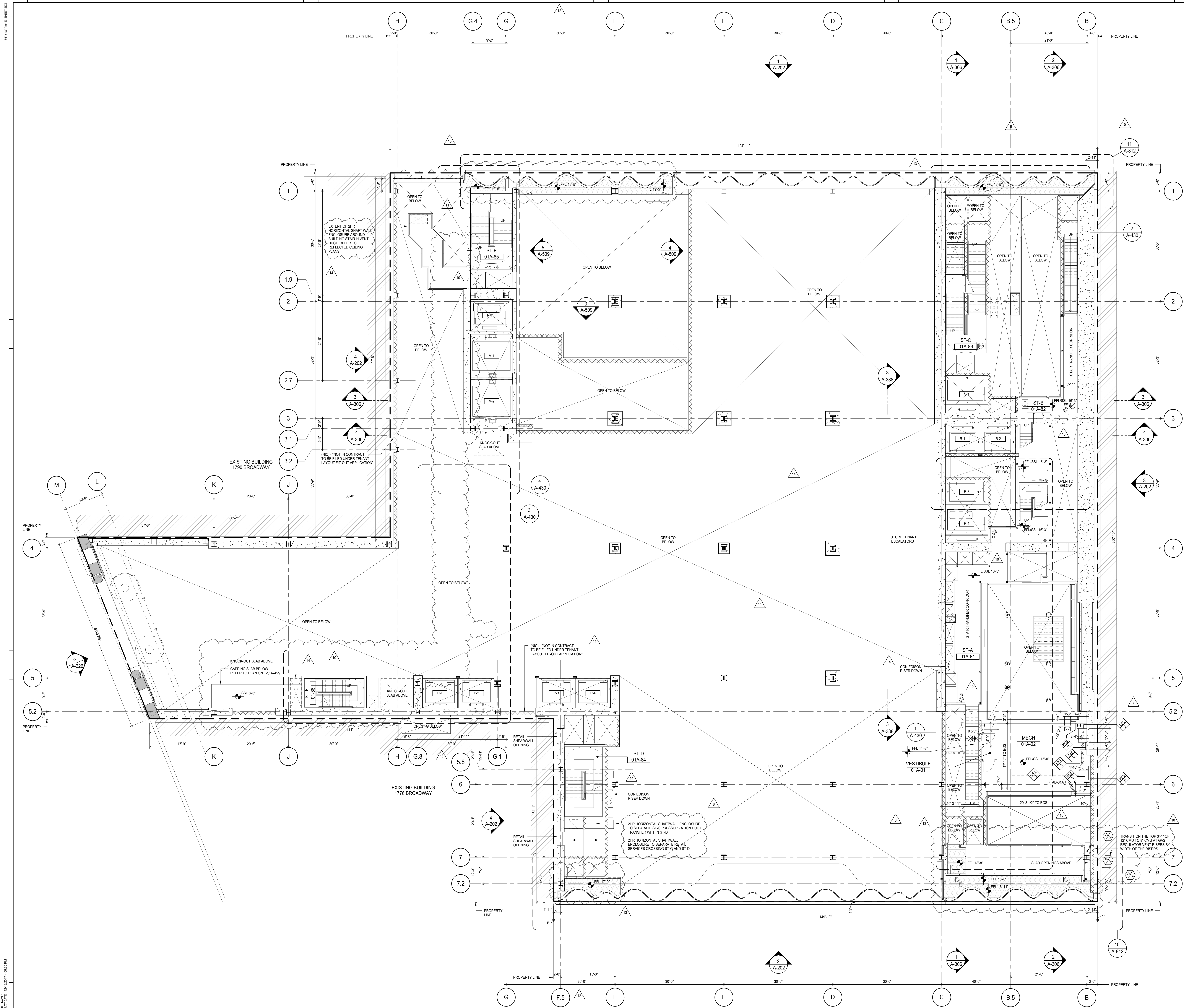
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.
CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
GROUND FLOOR PLAN (LOBBY)
(MFD-GROUND FLOOR)

SEAL & SIGNATURE: DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 1/8" = 1'-0"
DVG No: **A-105.04**

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DOB 5-SCAN:



KEY PLAN

PROJECT NORTH

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 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
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 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rotter Architecture and Design Studio, PLLC**
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 New York, NY 10001
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ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
 401 Wellington St. W., 3rd Floor
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 228 EAST 45th Street
 New York, NY 10017 USA
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MEP ENGINEERS: **AKF GROUP**
 165 Broadway, 22nd Floor
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 TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
 21 Penn Plaza - 360 West 51st Street, 8th Floor
 New York, NY 10001-2722
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1515 FAX: 212 385 1511

CURTAINWALL CONSULTANT: **AJLP Consulting**
 40 Worth Street, Suite 826
 New York, NY 10013
 TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 1	22 APR 16
14	CD BULLETIN ISSUE - 2	18 MAY 16
15	CD BULLETIN ISSUE - 3	15 JUL 16
16	CD BULLETIN ISSUE - 4	26 AUG 16
17	D.O.B. AMENDMENT 4	12 DEC 17

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **GROUND FLOOR PLAN INTERMEDIATE
(STAIR TRANSFER) (MFD-GROUND FLOOR INTERMEDIATE)**

SEAL & SIGNATURE

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

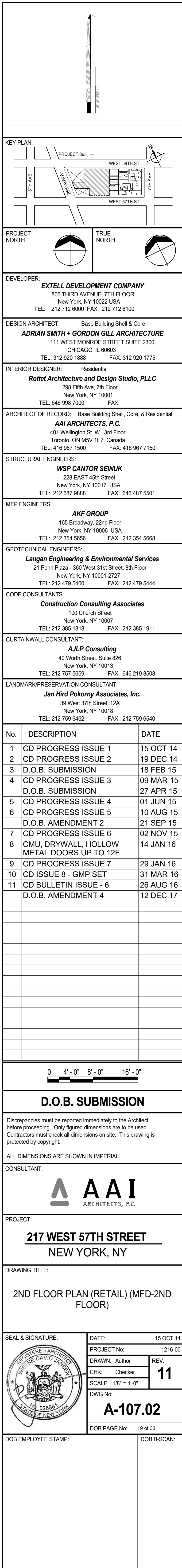
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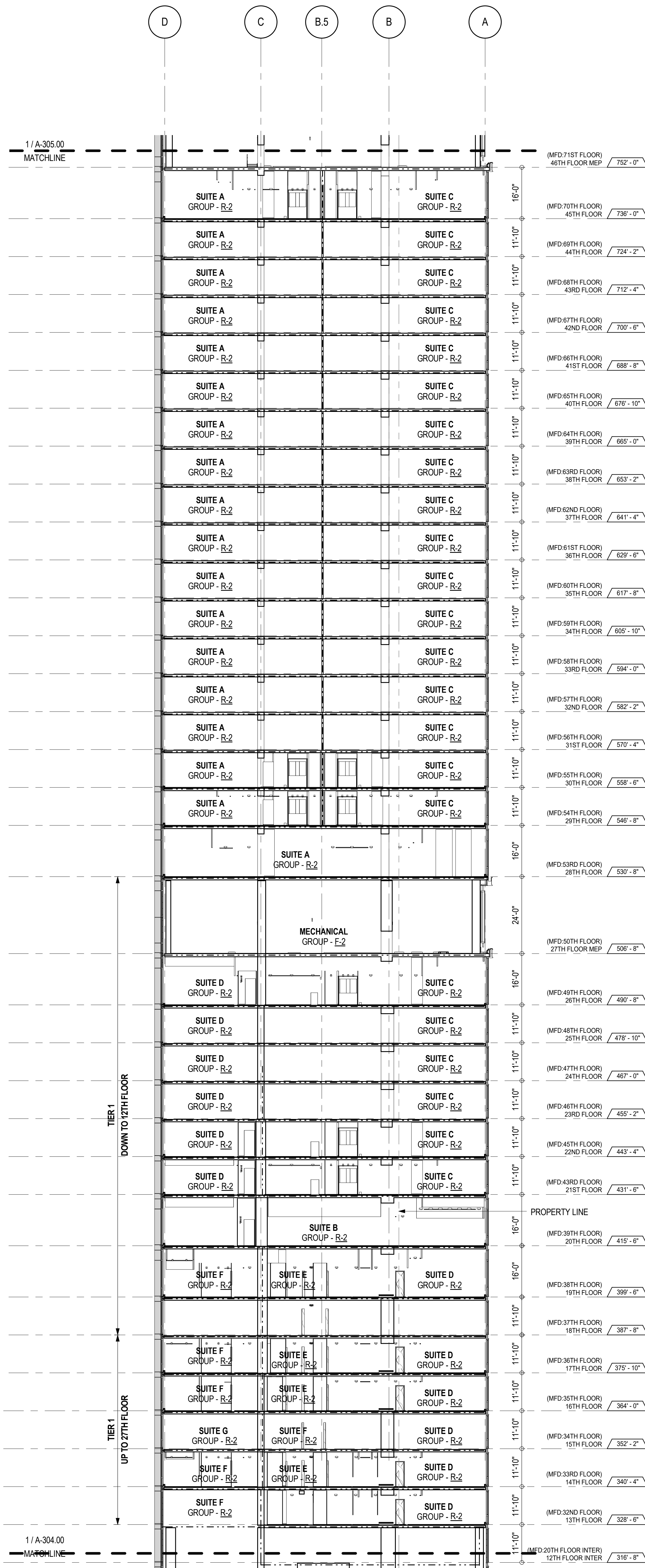
DWG No: **A-106.03**

DOB PAGE No: 18 of 33

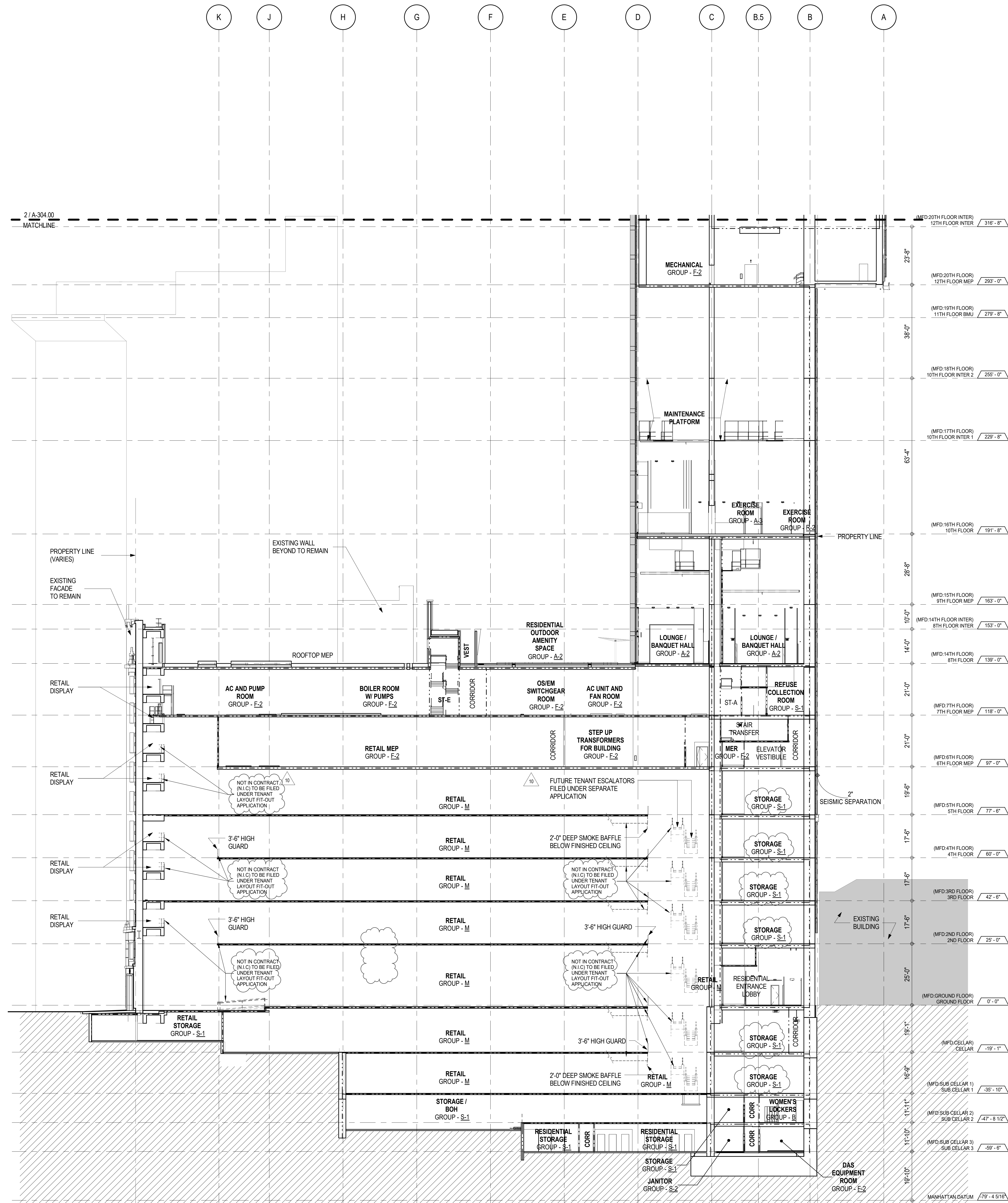
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DOB S-CAN:





3 EAST-WEST BUILDING SECTION - 12TH FLOOR TO 45TH FLOOR
A-301
1/8" = 1'-4"



1 EAST-WEST BUILDING SECTION - SUB CELLAR 3 TO 16TH FLOOR
A-301
1/8" = 1'-4"

PROJECT NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
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INTERIOR DESIGNER:
Residential
Rottet Architecture and Design Studio, PLLC
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ARCHITECT OF RECORD:
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GEOTECHNICAL ENGINEERS:
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TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CMU DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 6	26 AUG 16
14	D.O.B. AMENDMENT 3	03 OCT 16
15	CD BULLETIN ISSUE - 9	13 FEB 17
16	D.O.B. AMENDMENT 4	12 DEC 17
17	NEXT ISSUE	Date 25

D.O.B. SUBMISSION

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CONSULTANT:
AAI ARCHITECTS, P.C.

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
EAST-WEST BUILDING SECTION

SEAL & SIGNATURE

DATE: 05 DEC 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

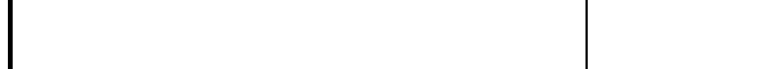
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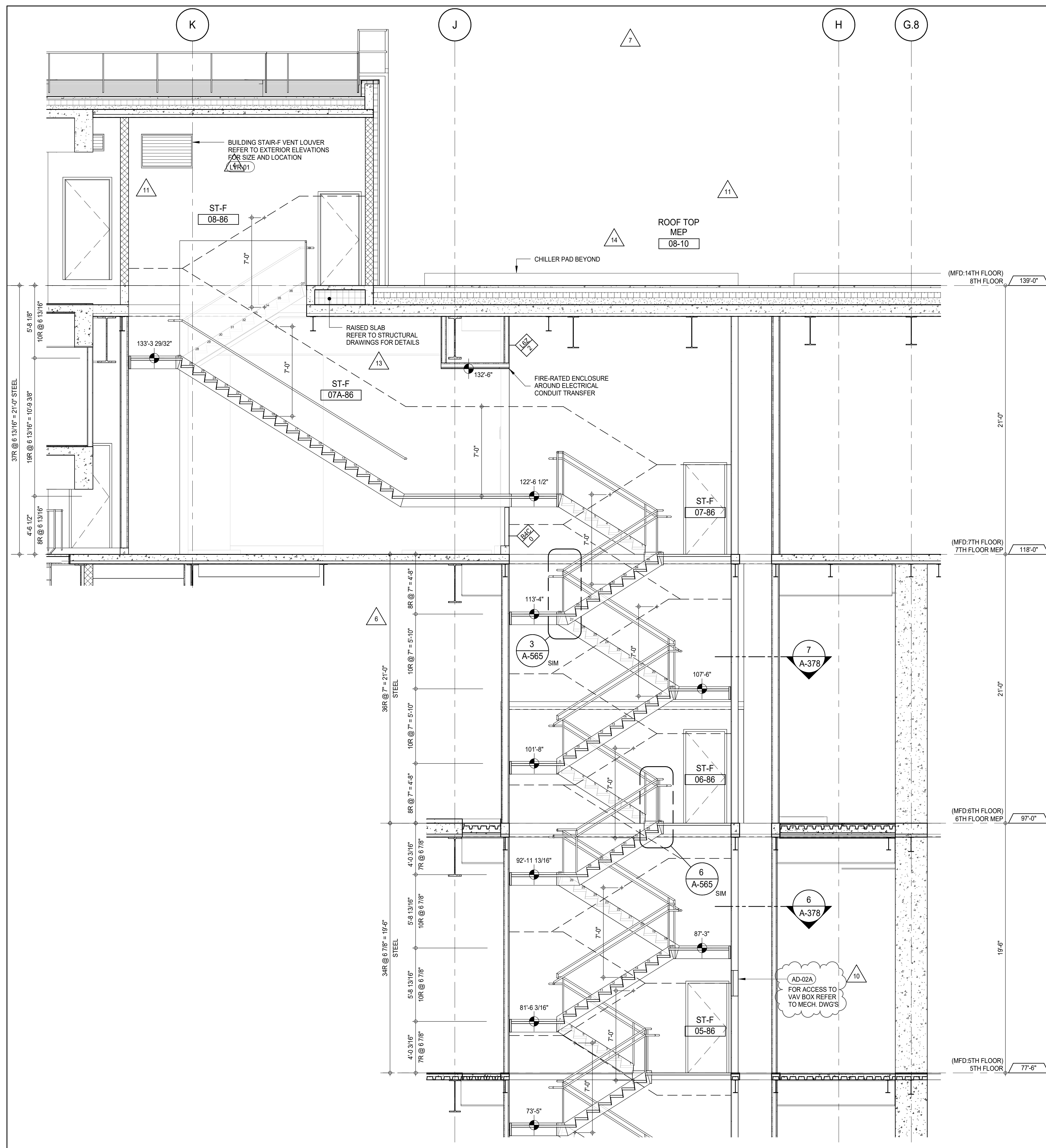
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DOB PAGE No: 30 of 33

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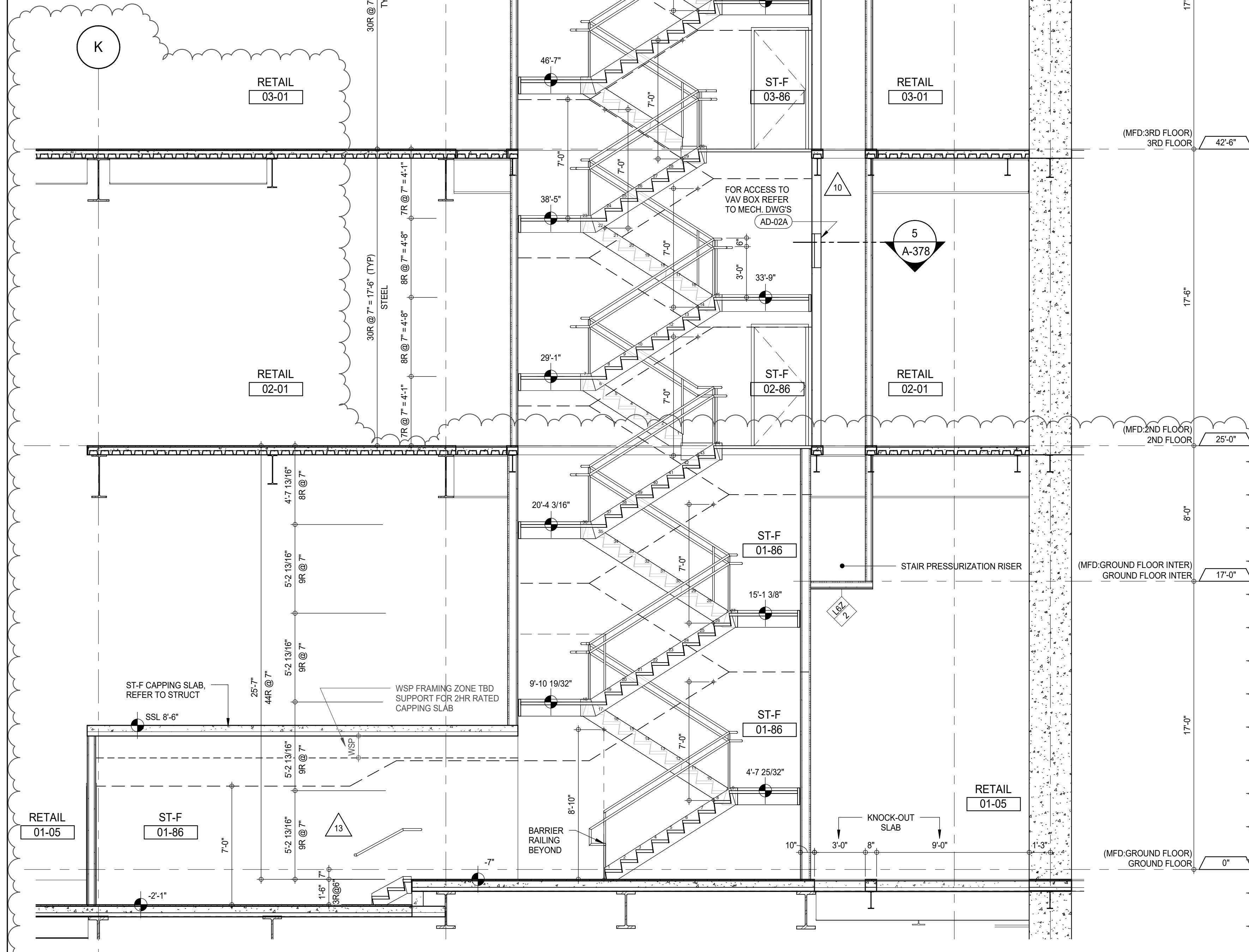




STAIR ST-F SECTION LOOKING NORTH - 5TH TO 8TH FLOORS

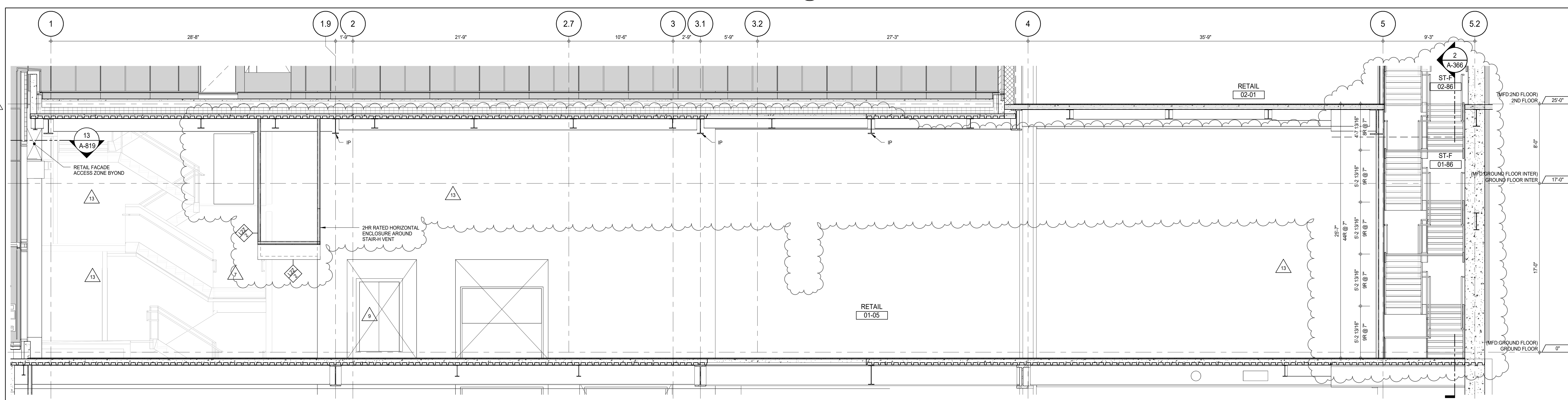
3

NOTE:
• STAIR HEADROOM CLEARANCE SHOWN IS THE CODE REQUIRED MINIMUM 1" MUST BE ADDED FOR TOLERANCE AND, WHERE REQUIRED, AN ADDITIONAL 2" FOR FIREPROOFING.
• WHERE FIRE RATED SLOTTED IS BEING PROVIDED, ADD AN ADDITIONAL 1" TO THE SLOTTED ASSEMBLY FOR TOLERANCE.



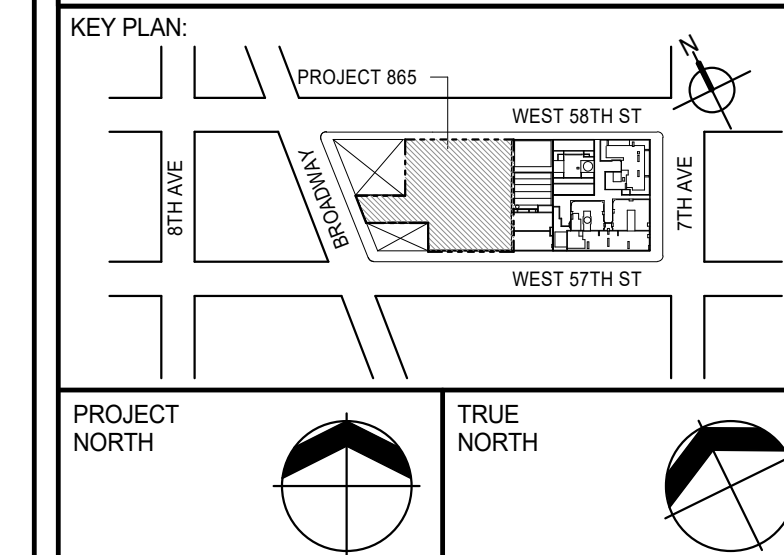
STAIR ST-F SECTION LOOKING NORTH - GROUND TO 5TH FLOORS

2



STAIRS ST-F TO ST-E SECTION THRU TRANSFER LOOKING EAST - GROUND TO 2ND FLOORS

1



PROJECT NORTH
TRUE NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
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ARCHITECT OF RECORD:
Base Building Shell, Core, & Residential
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

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9	CD PROGRESS ISSUE 6	02 NOV 15
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13	CD BULLETIN ISSUE - 4	15 JUL 16
14	CD BULLETIN ISSUE - 6	26 AUG 16
15	ASI ISSUE - 11	16 DEC 16
16	D.O.B. AMENDMENT 4	12 DEC 17

0' 2' 4' 6' 8' 10'

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:

STAIRS ST-F SECTIONS

SEAL & SIGNATURE

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

SCALE: 1/4" = 1'-0"

DWG No: A-366.02

DOB PAGE No: 29 of 30

DOB EMPLOYEE STAMP: DOB 5-SCAN:

REV: 14

DOB EMPLOYEE STAMP:

DOB 5-SCAN:

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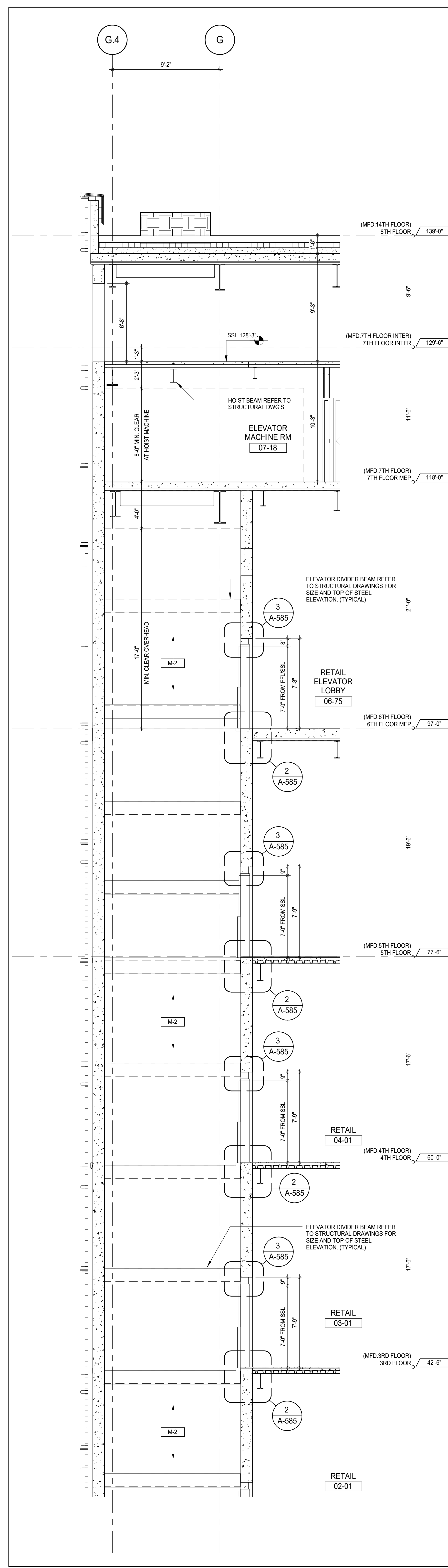
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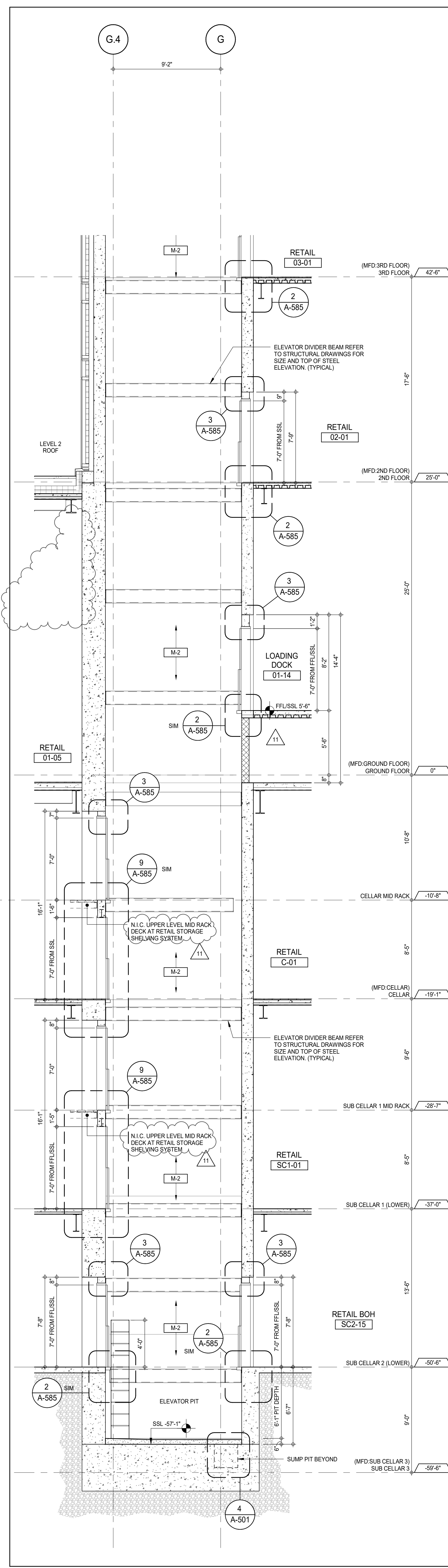
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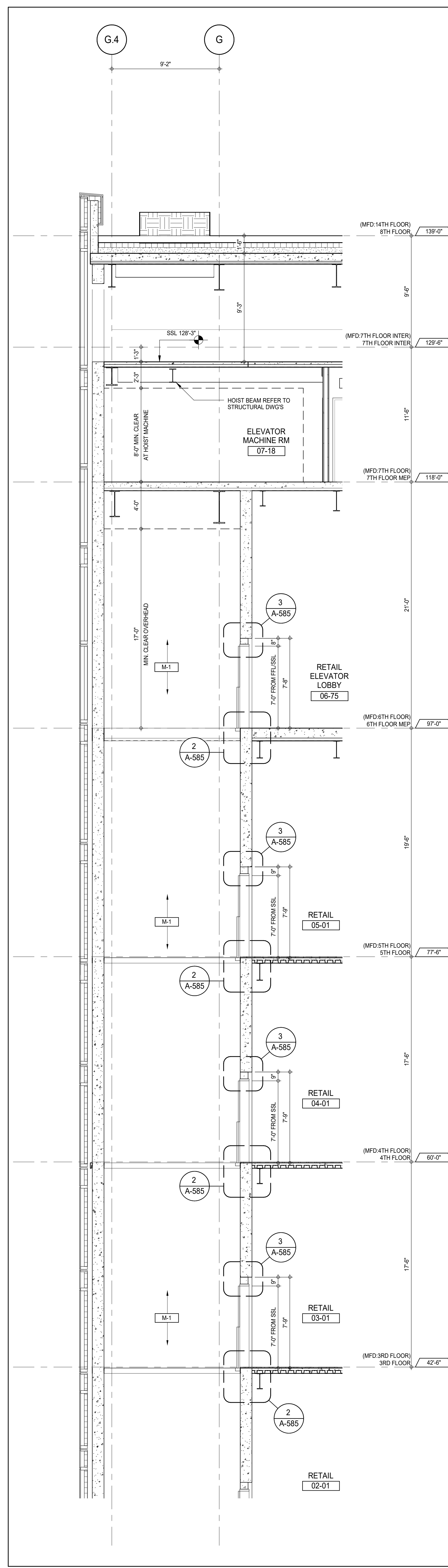
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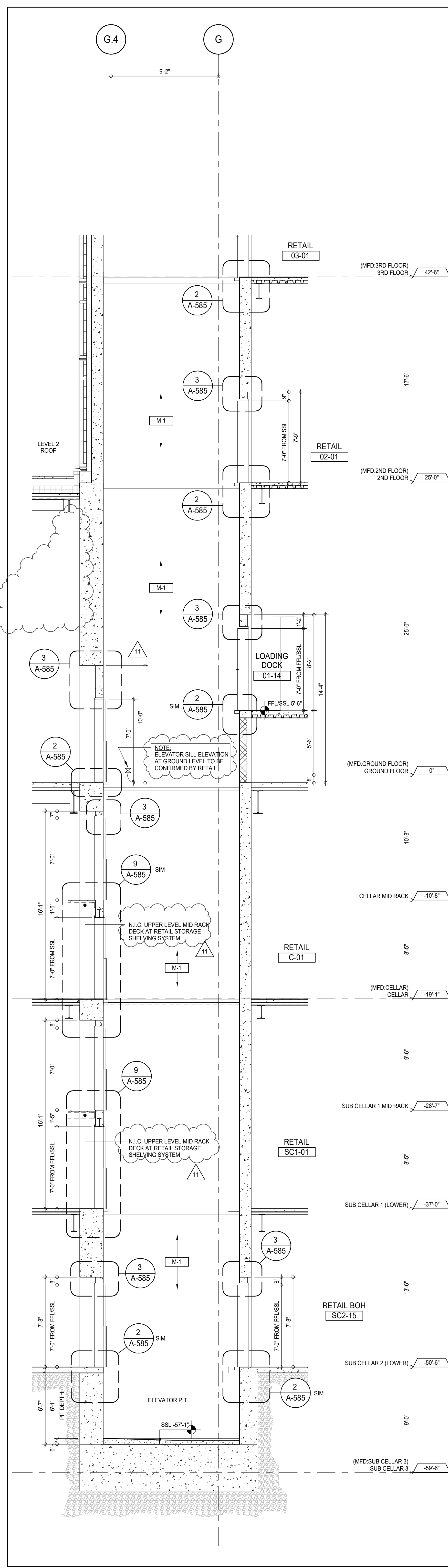
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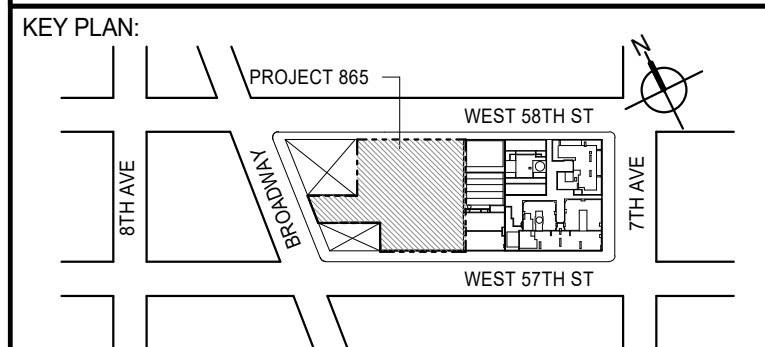
ELEVATOR M-2 SECTION - PIT TO 2ND FLOOR



ELEVATOR M-1 SECTION - 3RD TO 7TH FLOOR EMR



ELEVATOR M-1 SECTION - PIT TO 2ND FLOOR



PROJECT NORTH		TRUE NORTH	
---------------	--	------------	--

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
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DESIGN ARCHITECT: Base Building Shell & Core
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MEP ENGINEERS:

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New York, NY 10006 USA
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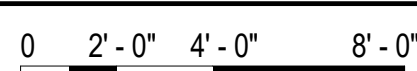
GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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TEL: 212 385 1818 FAX: 212 385 1911

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New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
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CONSULTANT:



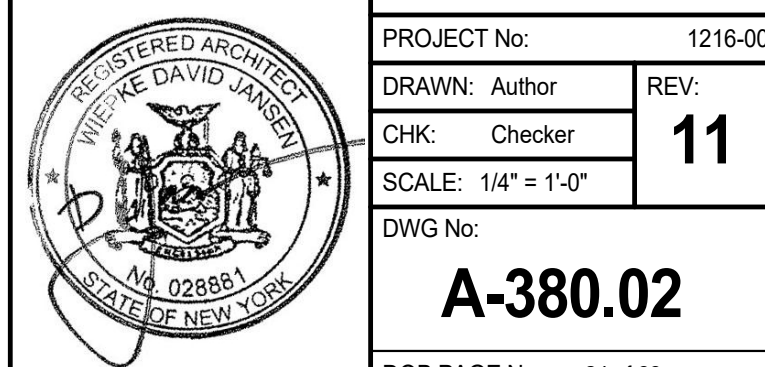
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

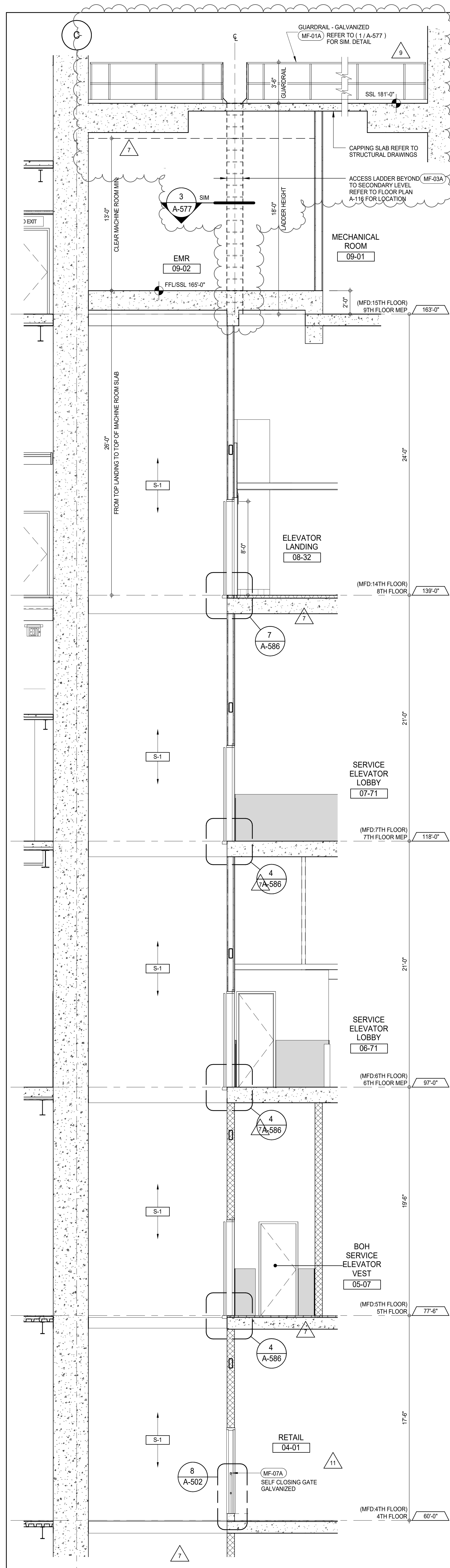
DRAWING TITLE:

PODIUM ELEVATORS M-1 & M-2
ENLARGED SECTIONS

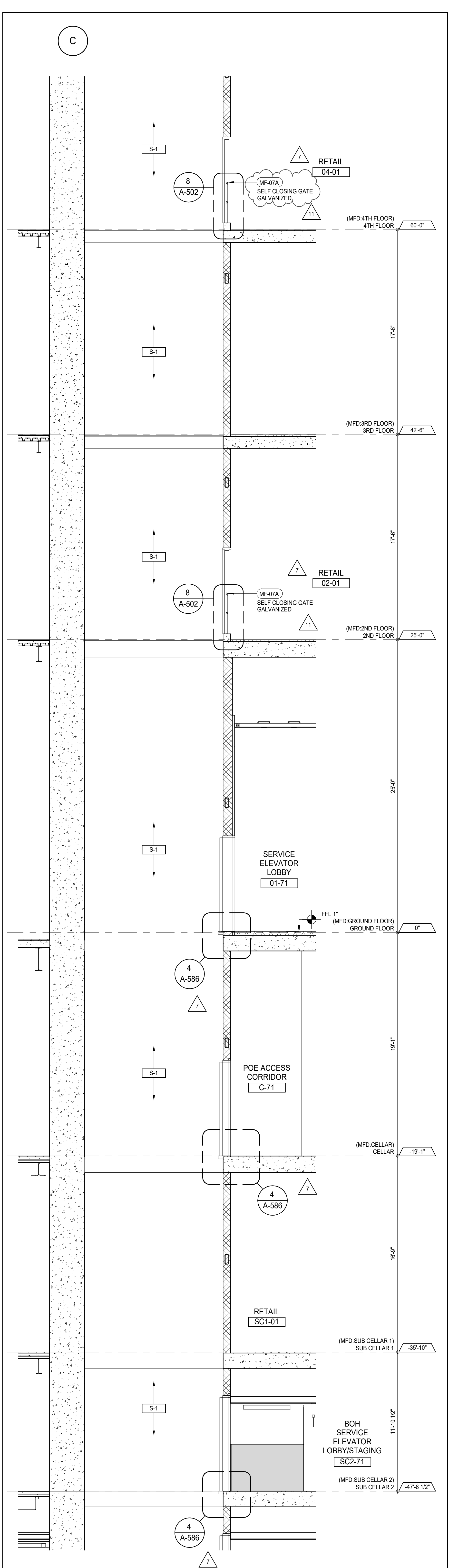
SEAL & SIGNATURE:	DATE:	15 OCT 14
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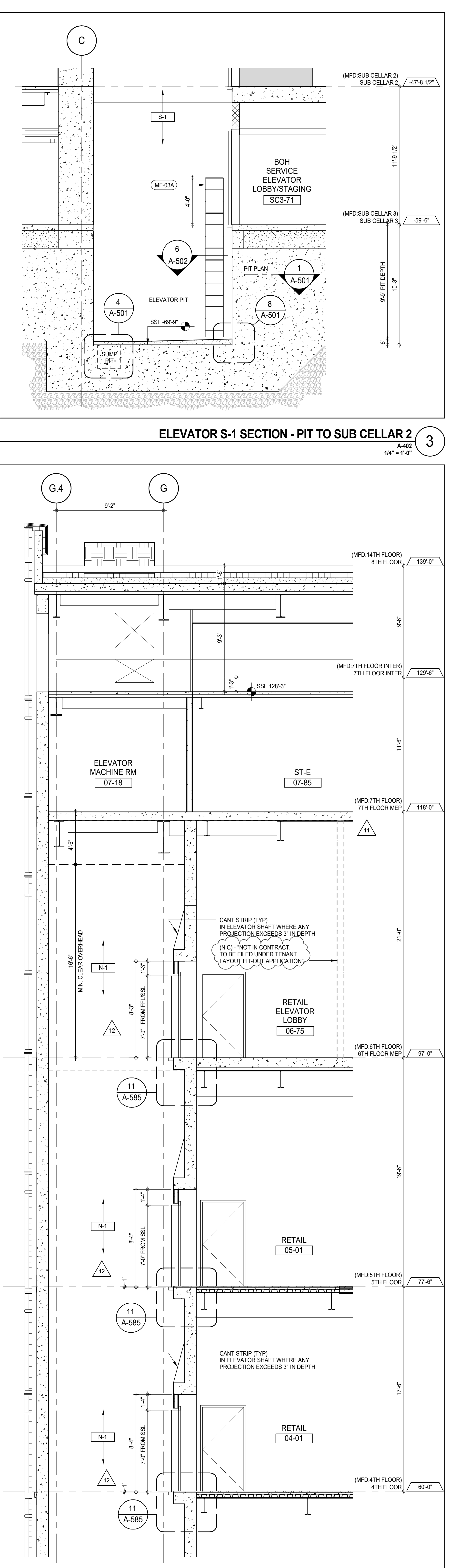
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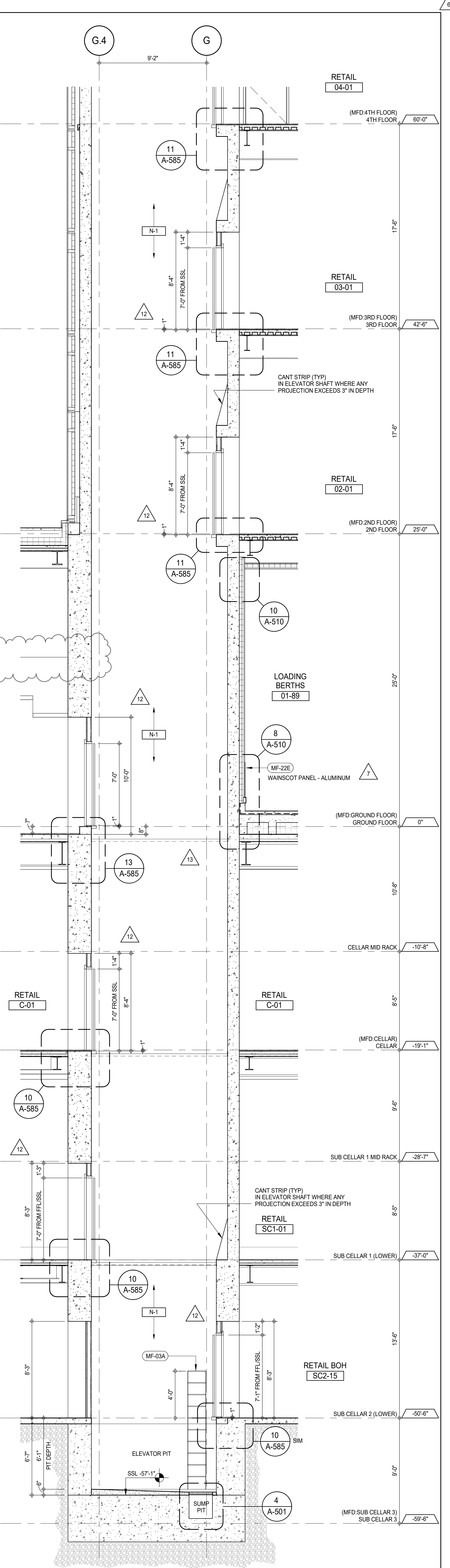
ELEVATOR S-1 SECTION - 5TH TO 9TH FLOOR EMR 5
A-114
1/4" = 1'-0"



ELEVATOR S-1 SECTION - SUB CELLAR 1 TO 4TH FLOOR 4
A-408
1/4" = 1'-0"



ELEVATOR N-1 SECTION - 4TH TO 6TH FLOOR 2
A-461
1/4" = 1'-0"



ELEVATOR N-1 SECTION - PIT TO 3RD FLOOR 1
A-381
1/4" = 1'-0"

KEY PLAN

PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

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TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD PROGRESS ISSUE 8	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 6	26 AUG 16
14	ASI ISSUE - 11	16 DEC 16
15	ASI ISSUE - 16	27 JAN 17
16	ASI ISSUE - 22	20 JUL 17
17	D.O.B. AMENDMENT 4	12 DEC 17

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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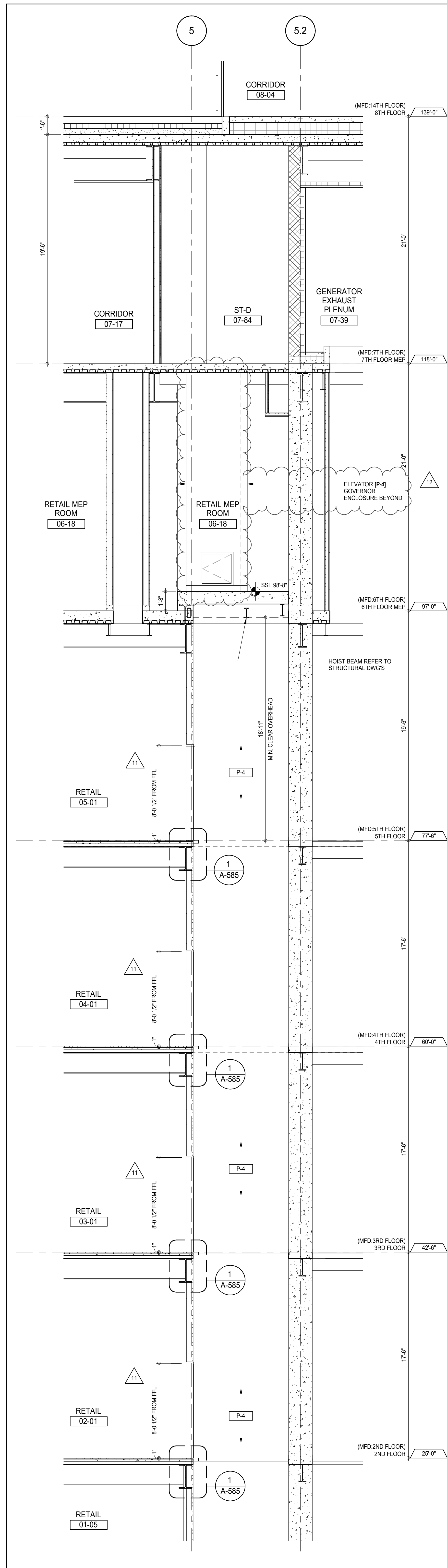
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CONSULTANT: **AAI ARCHITECTS, P.C.**

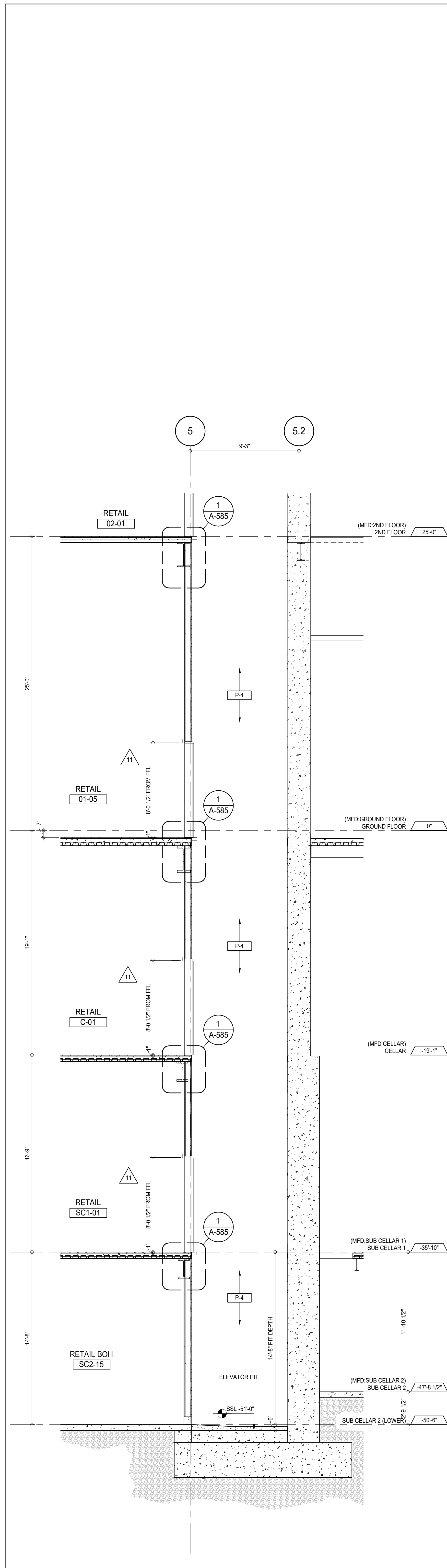
PROJECT: **217 WEST 57TH STREET NEW YORK, NY**

DRAWING TITLE: **PODIUM ELEVATORS N-1 & S-1 ENLARGED SECTIONS**

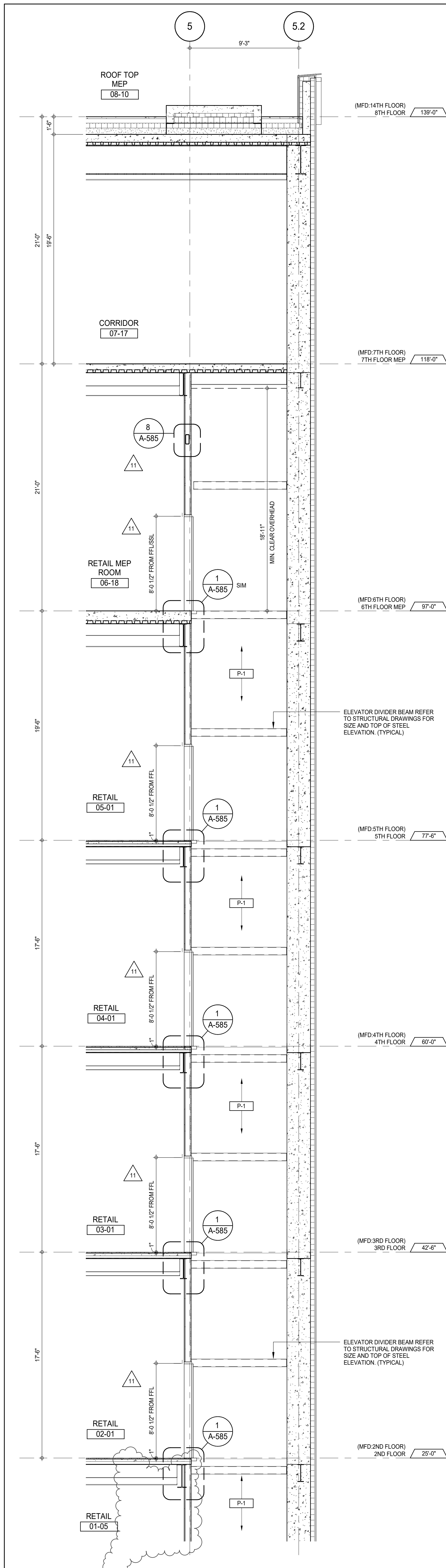
SEAL & SIGNATURE: **DAVID L. AAI** DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 1/4" = 1'-0"
DVG No: **A-381.02**
DOB PAGE No: 25 of 33
DOB EMPLOYEE STAMP: **DOB 5-SCAN:**



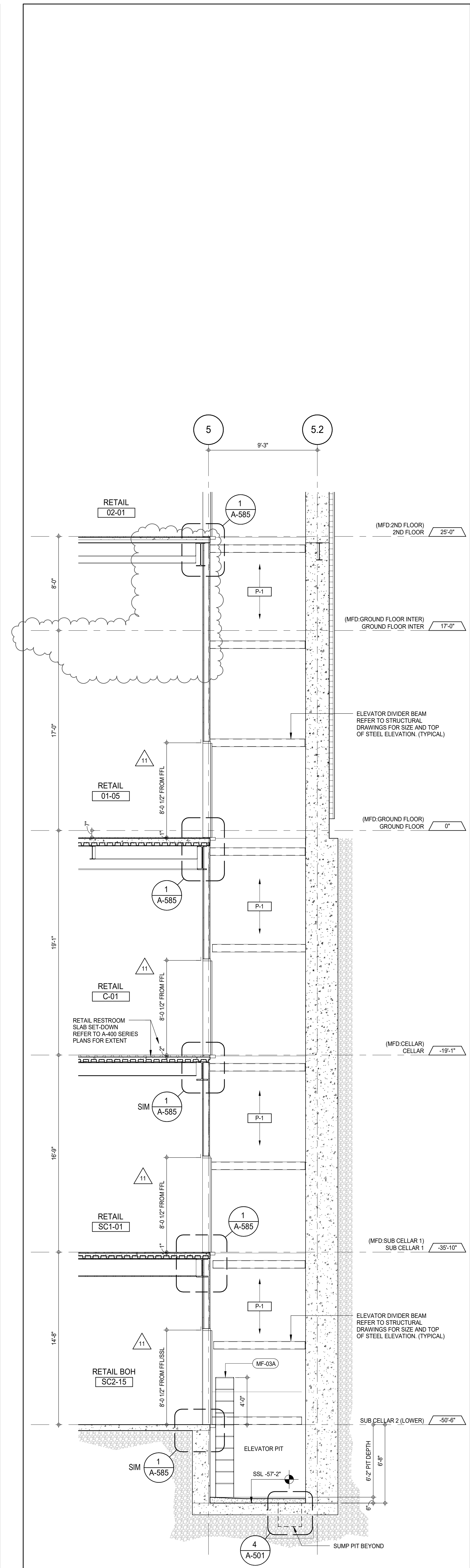
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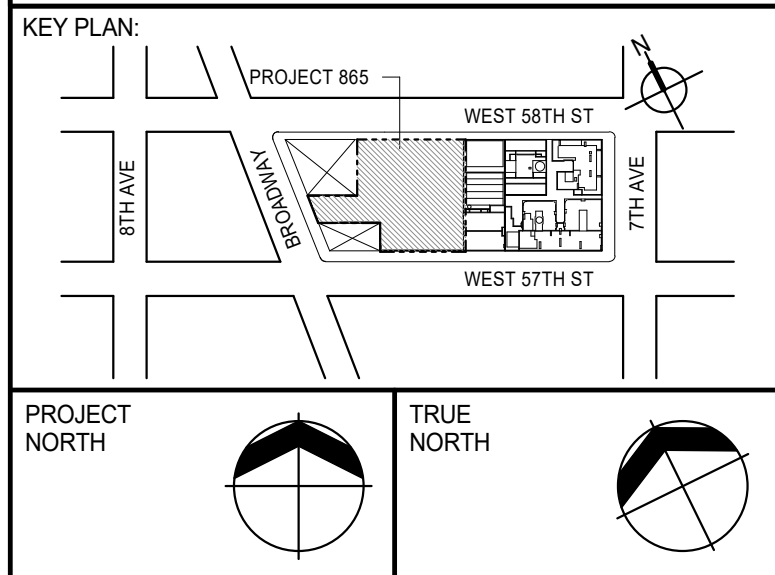
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ELEVATOR P-1 SECTION - 2ND TO 6TH FLOORS (P-2 SIM)



ELEVATOR P-1 SECTION - PIT TO GROUND FLOOR (P-2 SIM)



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
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New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
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14	CD PROGRESS ISSUE 11	27 JAN 17
15	CD PROGRESS ISSUE 12	12 DEC 17

0 2'-0" 4'-0" 8'-0"

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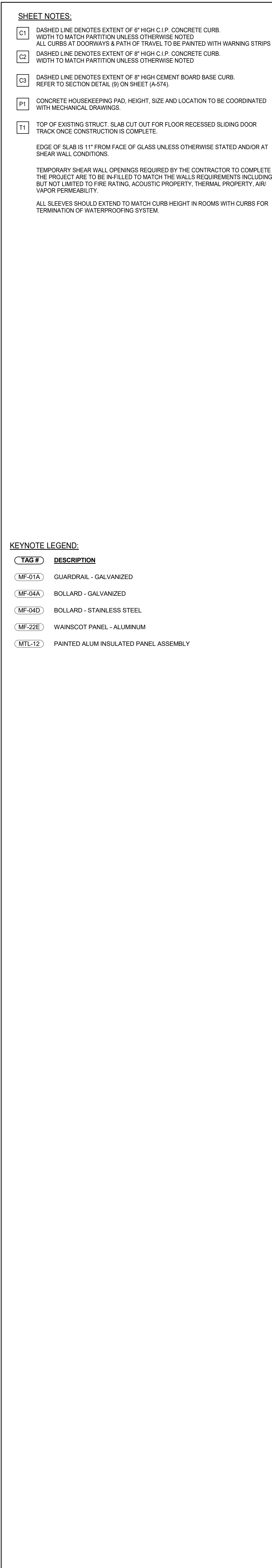


PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **PODIUM ELEVATORS P-1 & P-4**
ENLARGED SECTIONS

SEAL & SIGNATURE: DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 1/4" = 1'-0"
DVG No: **A-382.02**

DOB EMPLOYEE STAMP: DOB PAGE No: 26 of 33 DOB 5-SCAN:



KEYNOTE LEGEND:

<u>TAG #</u>	<u>DESCRIPTION</u>
<u>MF-01A</u>	GUARDRAIL - GALVANIZED
<u>MF-04A</u>	BOLLARD - GALVANIZED
<u>MF-04D</u>	BOLLARD - STAINLESS STEEL
<u>MF-22E</u>	WAINSCOT PANEL - ALUMINUM
<u>MTI-12</u>	PAINTED ALUMINUM ATTACHED PANEL ASSEMBLY

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New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540



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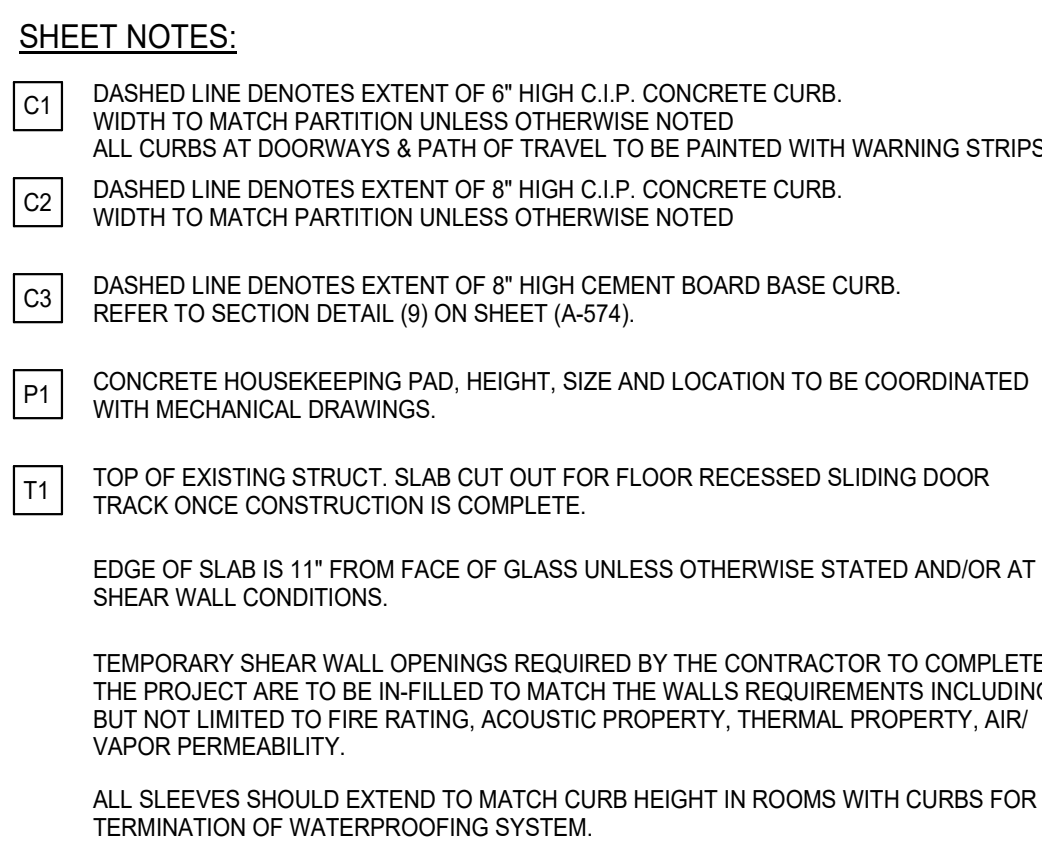


AAI
ARCHITECTS, P.C.

DRAWING TITLE:

GROUND FLOOR PART PLAN
(NORTH-WEST) (MFD-GROUND FLOOR)

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CONSULTANT



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAFTING TITLE

GROUND FLOOR PART PLAN
(SOUTH-WEST) (MFD-GROUND FLOOR)

SEAL & SIGNATURE

DATE: 15 OCT

DDMMB: Author

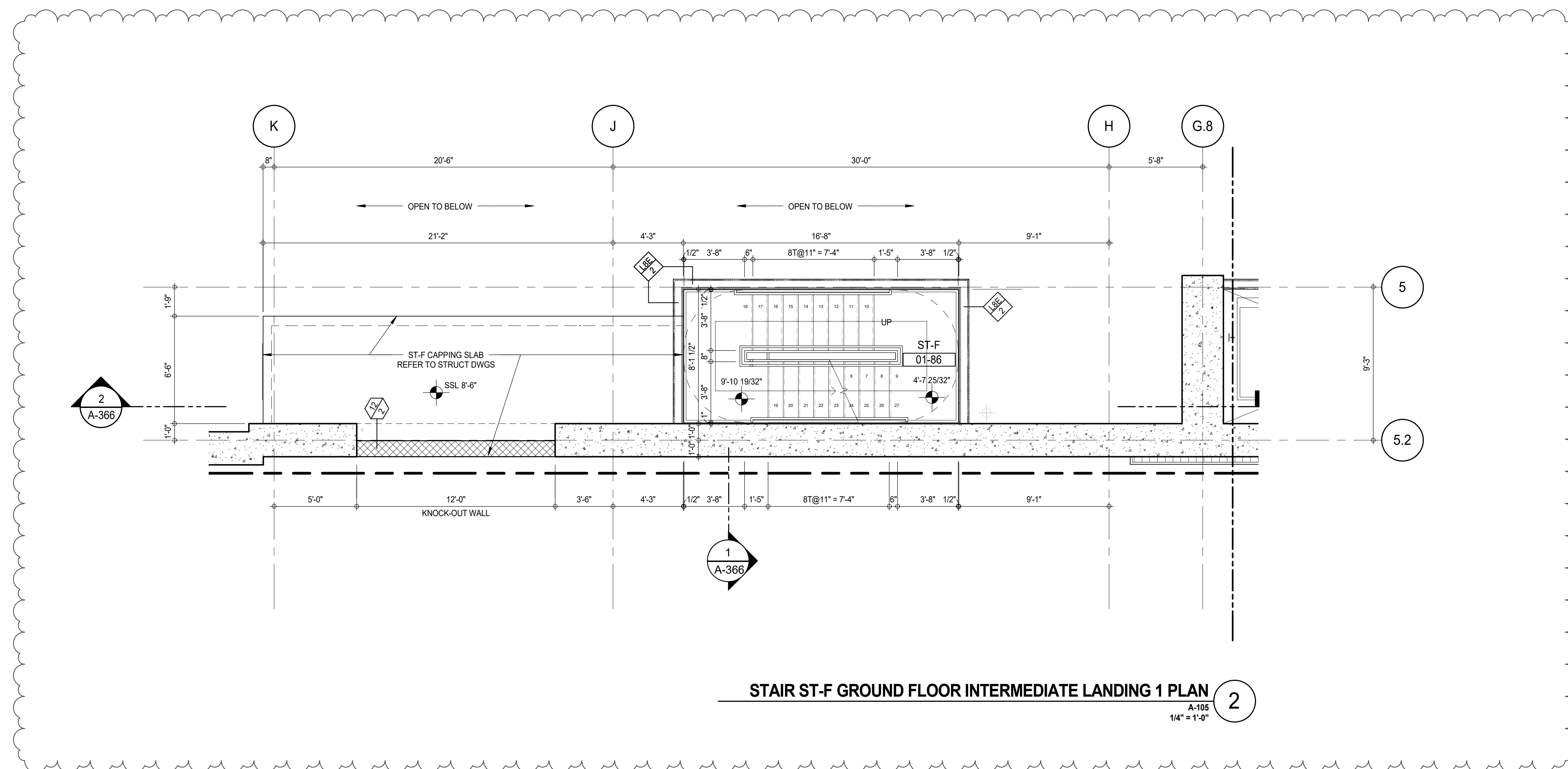
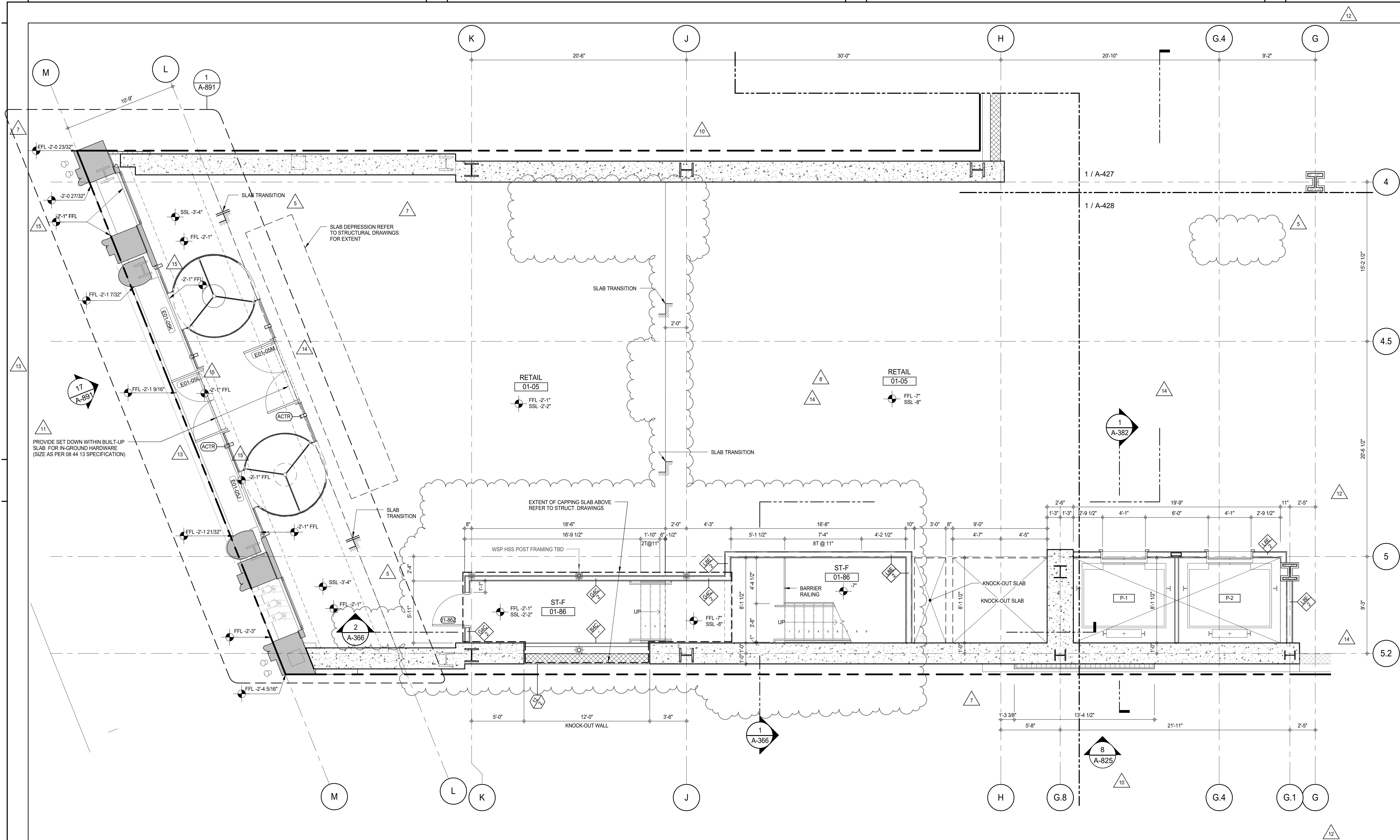
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SCALE: 1/4" =

A-428.02

DOB PAGE No:

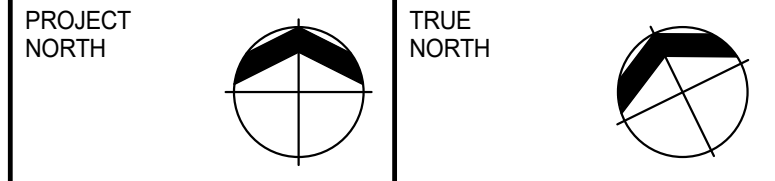
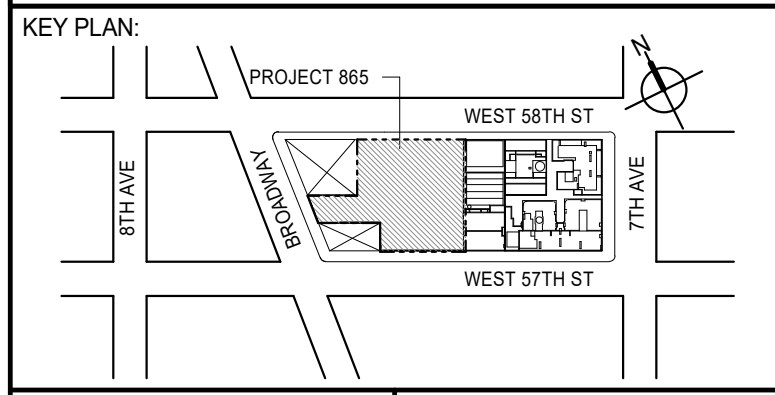
DOB B-SCAN:



STAIR ST-F GROUND FLOOR INTERMEDIATE LANDING 1 PLAN
A/105
1/4" = 1'-0"

SHEET NOTES:

- C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
C2 DASHED LINE DENOTES EXTENT OF 8" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
C3 DASHED LINE DENOTES EXTENT OF 8" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).
P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.
EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.
TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.
ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
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CODE CONSULTANTS: **Construction Consulting Associates**
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CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD PROGRESS ISSUE 8	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 1	22 APR 16
14	CD BULLETIN ISSUE - 2	18 MAY 16
15	CD BULLETIN ISSUE - 3	15 JUL 16
16	CD BULLETIN ISSUE - 4	26 AUG 16
17	CD BULLETIN ISSUE - 5	14 OCT 16
18	CD BULLETIN ISSUE - 6	12 DEC 17

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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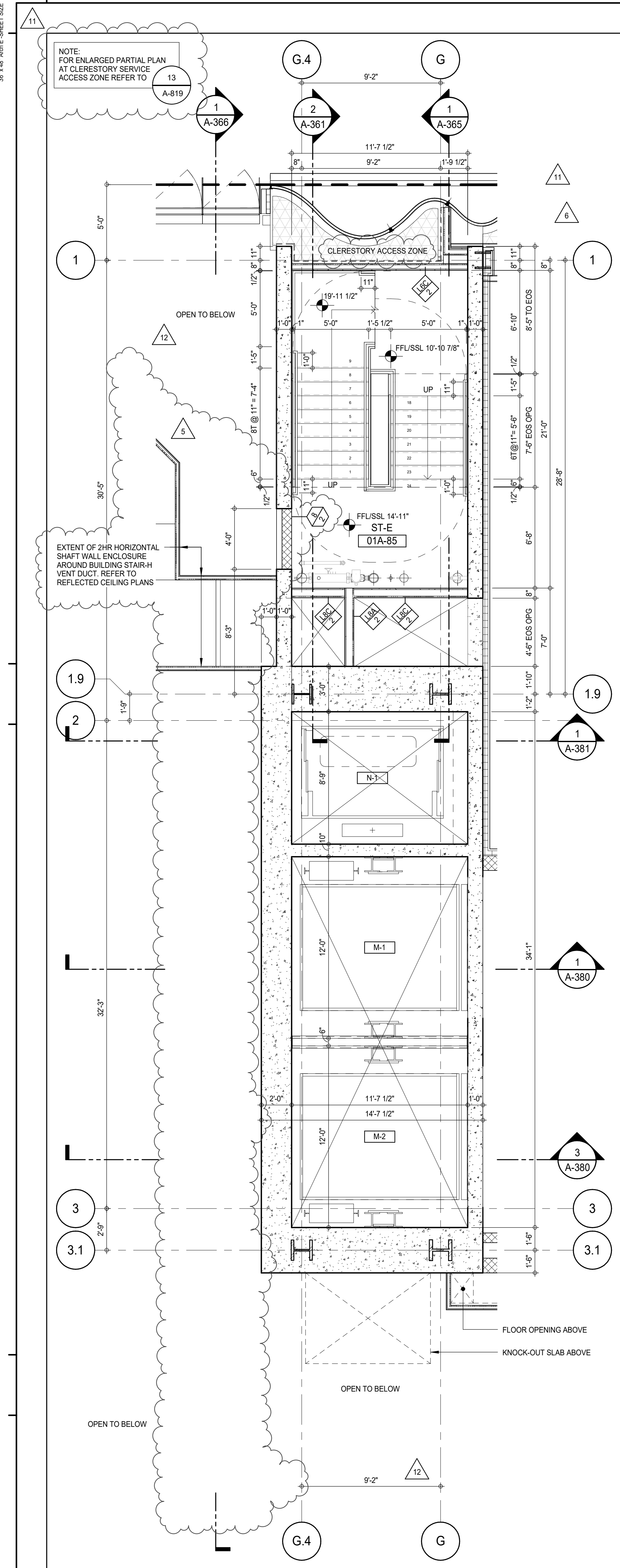
CONSULTANT:



PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **GROUND FLOOR PART PLAN (WEST)**
(MFD-GROUND FLOOR)

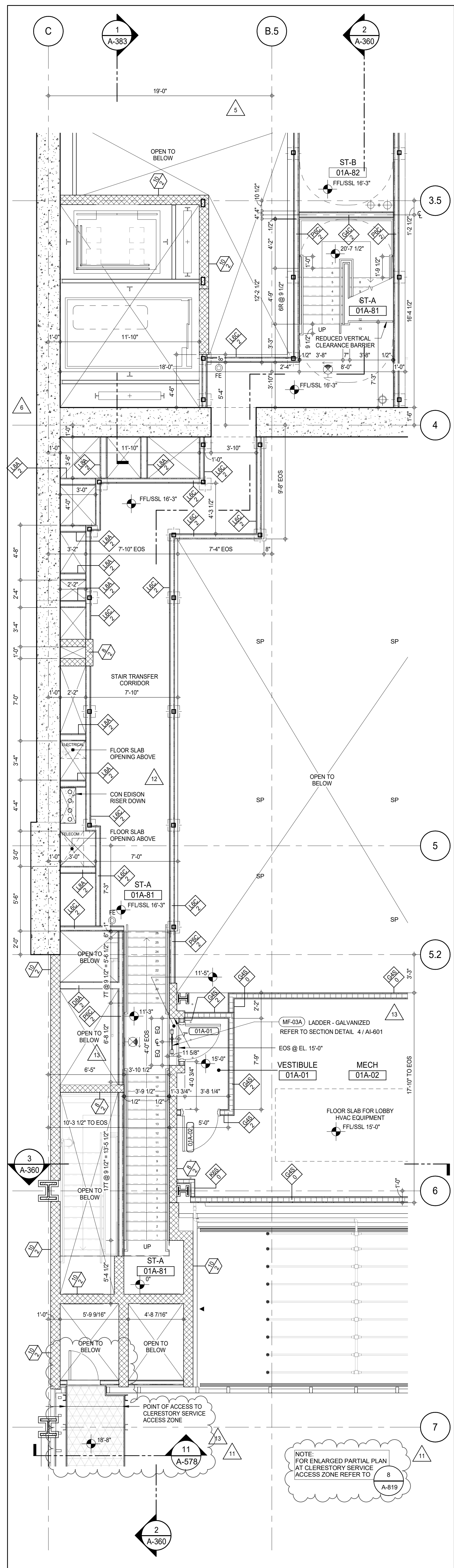
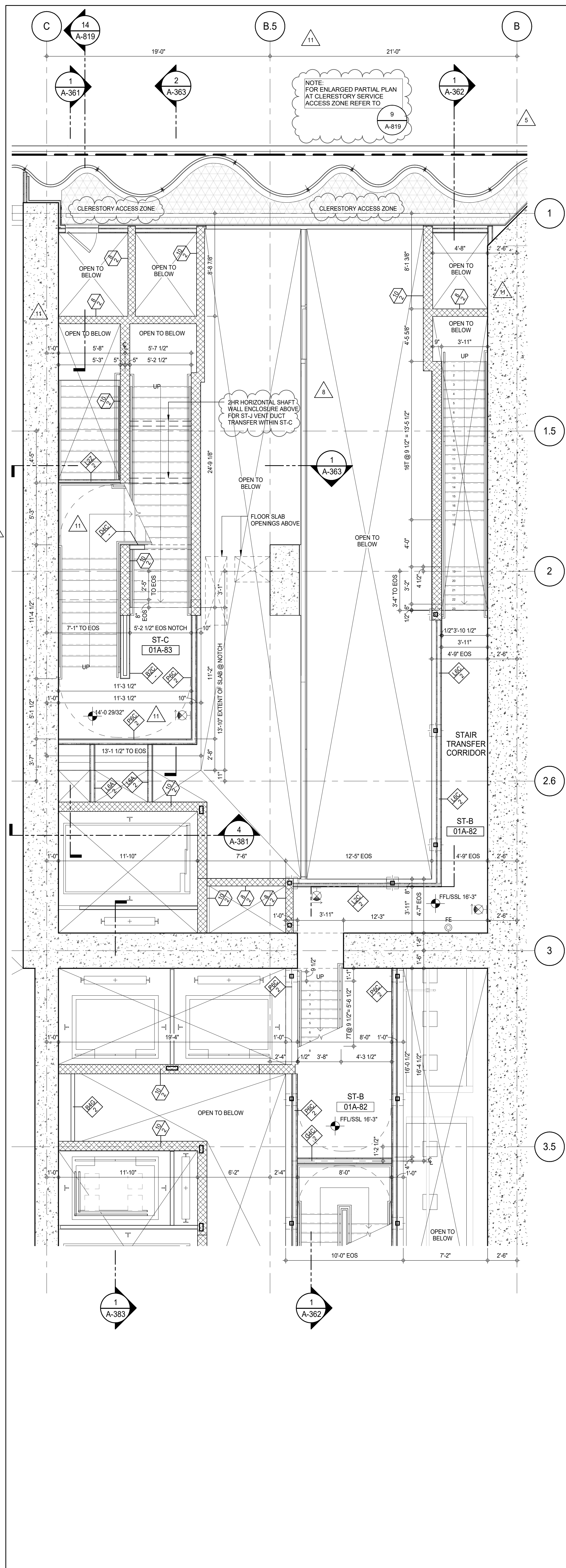
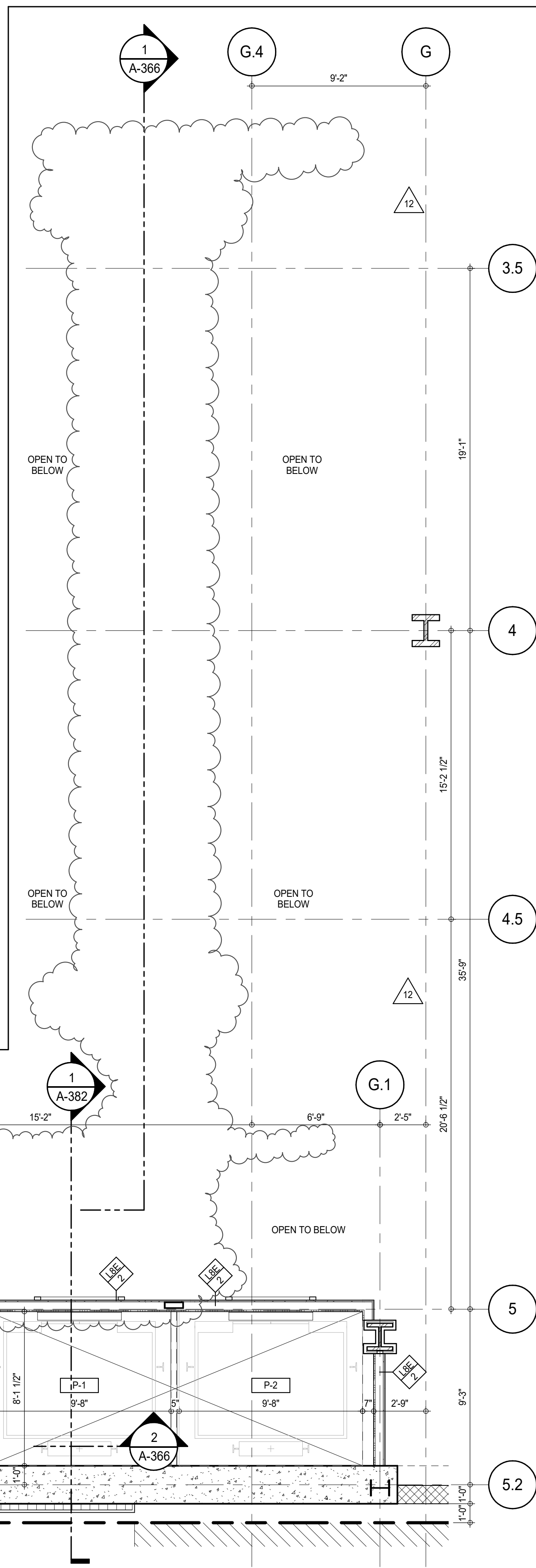
SEAL & SIGNATURE	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHK: Checker
	SCALE: 1/4" = 1'-0"
DWG No: A-429.02	REV: 15
DOB PAGE No: 29 of 33	DOB 5-SCAN:



KEYNOTE LEGEND:

TAG # DESCRIPTION

(MF-03A) LADDER - GALVANIZED



KEY PLAN

PROJECT NORTH

TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX: 646 989 7000

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St. W., 3rd Floor
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14	CD BULLETIN ISSUE - 6	26 AUG 16
15	ASI ISSUE - 20	21 APR 17
16	D.O.B. AMENDMENT 4	12 DEC 17

0' 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET NEW YORK, NY**

DRAWING TITLE: **GROUND FLOOR PLAN INTERMEDIATE (STAIR TRANSFER) (MFD-GENERAL FLOOR INTERMEDIATE)**

SEAL & SIGNATURE: **DAVID L. AAI**

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

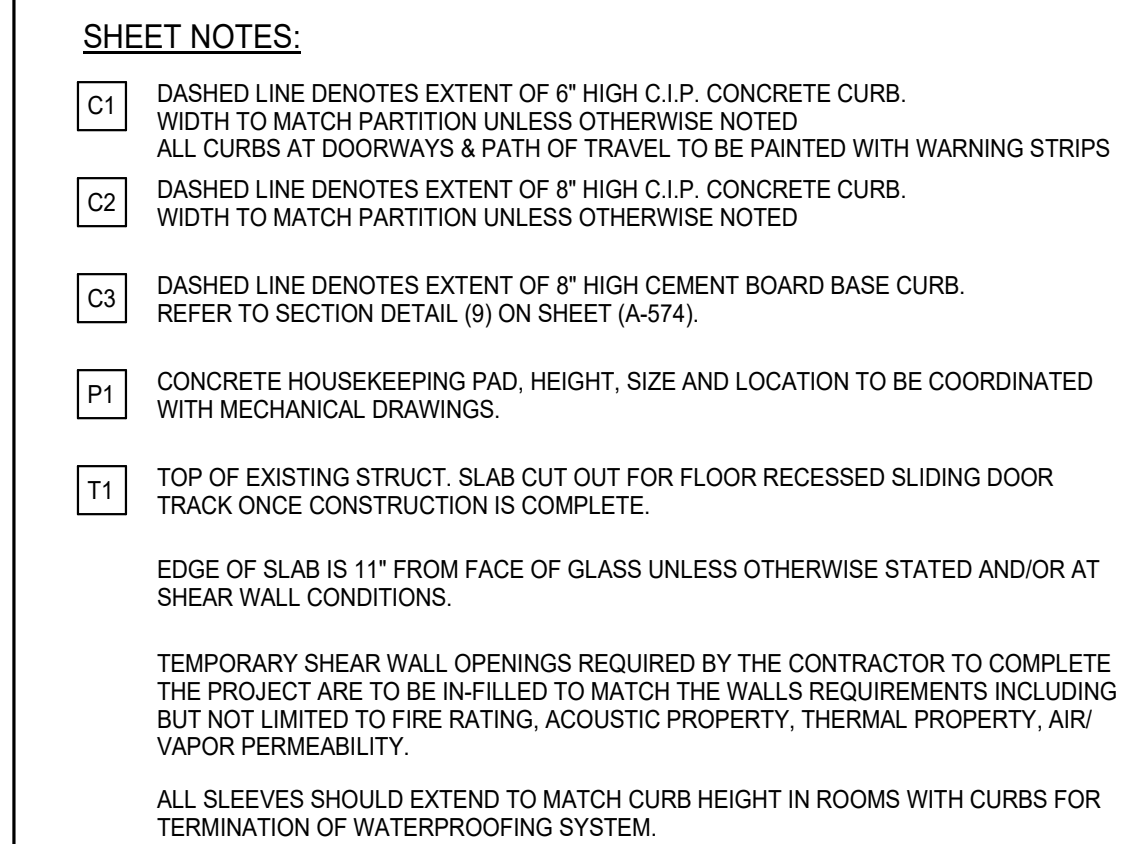
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DWG No: **A-430.03**

DOB PAGE No: 36 of 35

DOB EMPLOYEE STAMP: **DAVID L. AAI**

DOB S-SCAN:



<h1>D.O.B. SUBMISSION</h1>	
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<p>ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>	
<p>CONSULTANT:</p> <div style="text-align: center;"> <p>A A I ARCHITECTS, P.C.</p> </div>	
<p>PROJECT:</p> <div style="text-align: center;"> <p>217 WEST 57TH STREET</p> <hr style="width: 80%; margin: 0 auto;"/> <p>NEW YORK, NY</p> </div>	
<p>DRAWING TITLE:</p> <div style="text-align: center;"> <p>2ND FLOOR PART PLAN (WEST) (MFD-2ND FLOOR)</p> </div>	
<p>SEAL & SIGNATURE:</p> <div style="text-align: center;"> </div>	<p>DATE: 15 OCT 14</p> <p>PROJECT NO: 1216-C0</p> <p>DRAWN: Checker</p> <p>REV: 12</p> <p>SCALE: 1/4" = 1'-0"</p> <p>DWG NO: A-435.02</p>
<p>DOB EMPLOYEE STAMP:</p>	<p>DOB PAGE NO: 31 of 33</p> <p>DOB 8-SCAN:</p>

30" x 42" ARCH. SHEET 1025
FILE NAME: 20230717_1157.PLM
DEPT OF BUILDING 21-0302a

REFLECTED CEILING PLAN SYMBOL LEGEND

SYMBOL	DESCRIPTION
	CEILING MOUNTED
	WALL MOUNTED
	SLEEVED OPENING
	SLAB OPENING
	SLAB OPENING ABOVE (UNLESS NOTED OTHERWISE)
	ACCESS PANEL (HINGED / UNHINGED)
	LIGHT FIXTURE (SQUARE / RECTANGULAR) - SUSPENDED (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE (LINEAR) - SUSPENDED (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE (SQUARE / RECTANGULAR / CIRCULAR) - RECESSED (REFER TO ELECTRICAL DRAWINGS)
	WALL MOUNTED LIGHT FIXTURE (REFER TO ELECTRICAL DRAWINGS)
	UNIT ENTRY LIGHT FIXTURE / DOOR BELL (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE - TRACK (REFER TO ELECTRICAL DRAWINGS)
	RETURN AIR DIFFUSER (SQUARE / RECTANGULAR / ROUND) (REFER TO MECHANICAL DRAWINGS)
	SUPPLY AIR DIFFUSER (SQUARE / RECTANGULAR / ROUND) (REFER TO MECHANICAL DRAWINGS)
	LINEAR AIR DIFFUSER (SINGLE / DOUBLE) (WHERE X IS: R=RETURN AIR, S=SUPPLY AIR, SBA=SUPPLY RETURN COMBO) (REFER TO MECHANICAL DRAWINGS)
	SPRINKLER HEAD (REFER TO FIRE PROTECTION DRAWINGS)
	DETECTORS WITH JUNCTION BOX RECESSED IN DROP CEILING (WHERE X IS: S=SMOKE, M=CARBON MONOXIDE, G=GAS, I=HEAT, F=FLAME (OR A COMBINATION) (REFER TO FIRE PROTECTION DWGS))
	DETECTORS WITH JUNCTION BOX AND CONDUIT RECESSED IN SLAB (WHERE X IS: S=SMOKE, M=CARBON MONOXIDE, G=GAS, I=HEAT, F=FLAME (OR A COMBINATION) (REFER TO FIRE PROTECTION DWGS))
	VOICE ALARM SPEAKER (REFER TO FIRE ALARM DRAWINGS)
	VOICE ALARM SPEAKER & STROBE LIGHT (REFER TO FIRE ALARM DRAWINGS)
	EXIT LIGHT (REFER TO ELECTRICAL DRAWINGS)
	ELECTRICAL RECEPTACLE OUTLET (REFER TO ELECTRICAL DRAWINGS)
	CEILING MOUNTED JUNCTION BOX (REFER TO ELECTRICAL DRAWINGS)
	CEILING MOUNTED JUNCTION BOX RECESSED IN SLAB
	CEILING MOUNTED JUNCTION BOX WITH IN SLAB CONDUIT AND STUB OUTS
	TELECOM - REFER TO TELECOM DRAWINGS
	SPECIAL PURPOSE CONNECTION
	SPEAKER OUTLET
	ALARM
	SECURITY CAMERA (REFER TO SECURITY DRAWINGS)
	WINDOW WASHING TRACK (REFER TO 14" PLANS)

GENERAL NOTES:

1. **COORDINATION:**
REFLECTED CEILING PLANS ARE FOR GENERAL COORDINATION AND LAYOUT ONLY. FOR QUANTITIES AND TYPES OF FIXTURES AND EQUIPMENT REFER TO MECHANICAL, ELECTRICAL, IT, SECURITY, AUDIOVISUAL, COMMUNICATIONS, FIRE PROTECTION, PLUMBING AND SIGNAGE DRAWINGS.

2. **ACCESS PANELS:**
PRIOR TO COMMENCING INSTALLATION OF SERVICES AND WORK NOTED ABOVE, PREPARE A COMPLETE COORDINATED LAYOUT OF ALL ACCESS PANELS WHICH ARE REQUIRED. SUBMIT LAYOUT TO INDICATE EXACT SIZES AND LOCATIONS OF THE ACCESS POINTS FOR CONSULTANT'S REVIEW. PLACE CONTROLS, DAMPERS, SHUTOFF VALVES, ETC. IN ACCESSIBLE CEILING SYSTEM AREAS WHEREVER POSSIBLE. ALL ACCESS PANELS ARE DIMENSIONED TO THE CENTERLINE OF THE PANEL.

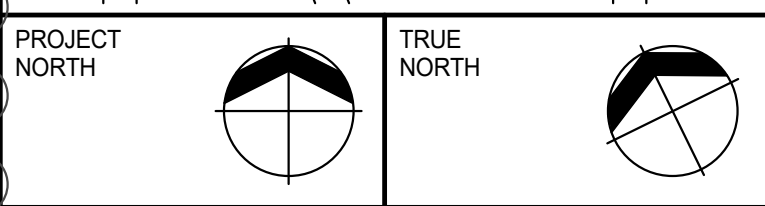
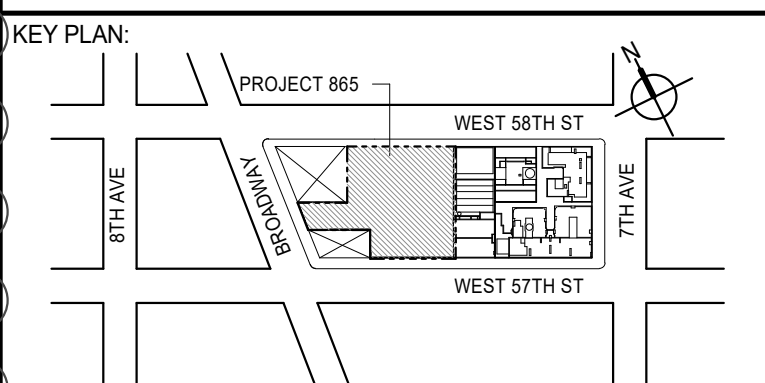
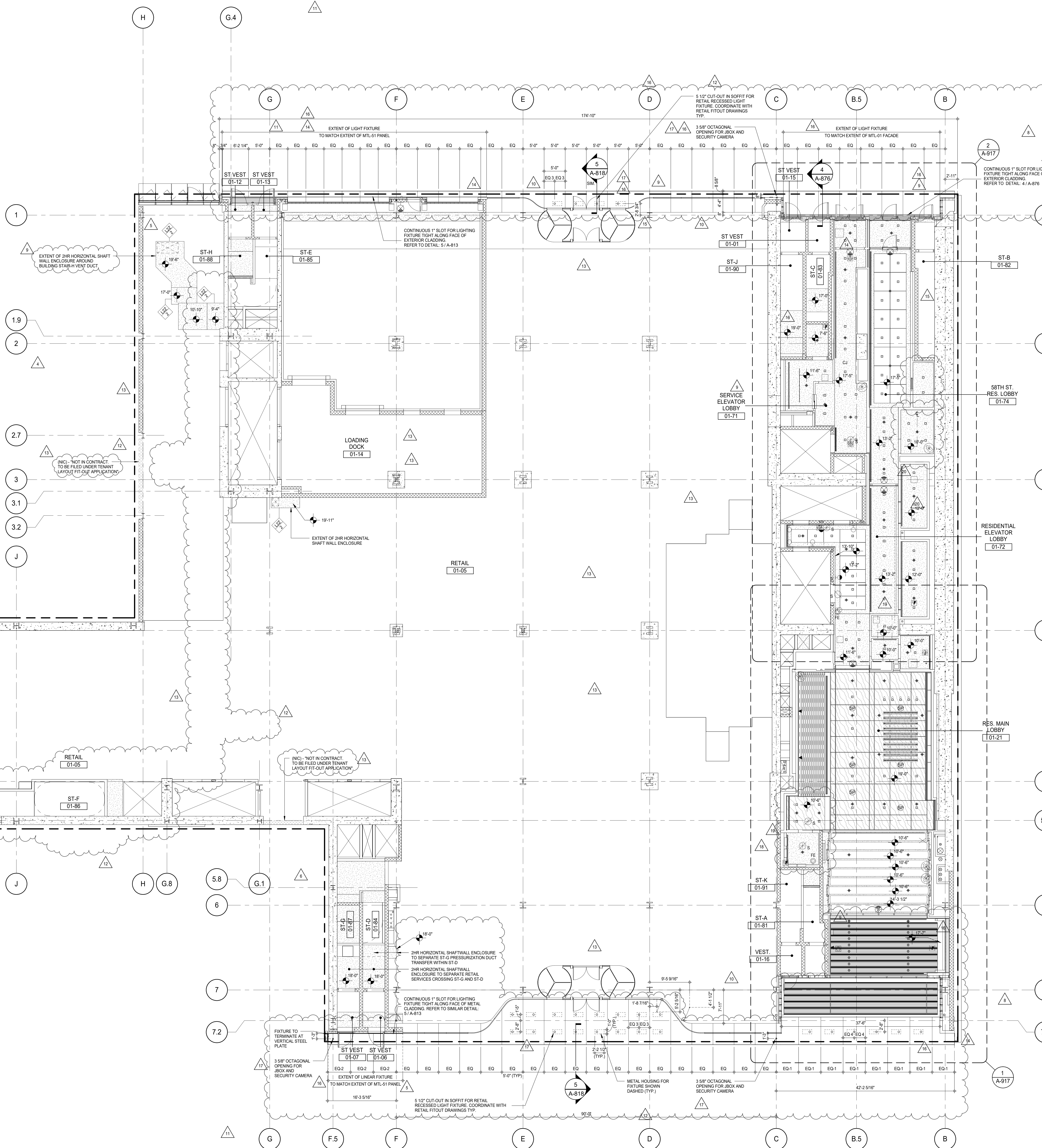
3. **SPRINKLERS:**
CENTER SPRINKLER HEADS AND DEVICES IN ACOUSTICAL CEILING TILES WHERE APPLICABLE OR AS DIMENSIONED ON THE RCP.

4. **BATHROOMS:**
FOR ALL BATHROOM CEILING FIXTURE LAYOUTS REFER TO A-900 SERIES DRAWINGS UNLESS OTHERWISE NOTED.

5. **ALL SPOT ELEVATION MARKERS WITHIN THE RESIDENTIAL LOBBY AREA ARE TAKEN FROM 1" ABOVE GROUND FLOOR ELEVATION. ALL SPOT ELEVATION MARKERS WITHIN EXIT STAIRS, AND RETAIL AREAS ARE TAKEN FROM THE GROUND FLOOR ELEVATION.**

KEYNOTE LEGEND

TAG #	DESCRIPTION
1	CEILING MOUNTED
2	WALL MOUNTED
3	SLEEVED OPENING
4	SLAB OPENING
5	SLAB OPENING ABOVE (UNLESS NOTED OTHERWISE)
6	ACCESS PANEL (HINGED / UNHINGED)
7	LIGHT FIXTURE (SQUARE / RECTANGULAR) - SUSPENDED (REFER TO ELECTRICAL DRAWINGS)
8	LIGHT FIXTURE (LINEAR) - SUSPENDED (REFER TO ELECTRICAL DRAWINGS)
9	LIGHT FIXTURE (SQUARE / RECTANGULAR / CIRCULAR) - RECESSED (REFER TO ELECTRICAL DRAWINGS)
10	WALL MOUNTED LIGHT FIXTURE (REFER TO ELECTRICAL DRAWINGS)
11	UNIT ENTRY LIGHT FIXTURE / DOOR BELL (REFER TO ELECTRICAL DRAWINGS)
12	LIGHT FIXTURE - TRACK (REFER TO ELECTRICAL DRAWINGS)
13	RETURN AIR DIFFUSER (SQUARE / RECTANGULAR / ROUND) (REFER TO MECHANICAL DRAWINGS)
14	SUPPLY AIR DIFFUSER (SQUARE / RECTANGULAR / ROUND) (REFER TO MECHANICAL DRAWINGS)
15	LINEAR AIR DIFFUSER (SINGLE / DOUBLE) (WHERE X IS: R=RETURN AIR, S=SUPPLY AIR, SBA=SUPPLY RETURN COMBO) (REFER TO MECHANICAL DRAWINGS)
16	SPRINKLER HEAD (REFER TO FIRE PROTECTION DRAWINGS)
17	DETECTORS WITH JUNCTION BOX RECESSED IN DROP CEILING (WHERE X IS: S=SMOKE, M=CARBON MONOXIDE, G=GAS, I=HEAT, F=FLAME (OR A COMBINATION) (REFER TO FIRE PROTECTION DWGS))
18	DETECTORS WITH JUNCTION BOX AND CONDUIT RECESSED IN SLAB (WHERE X IS: S=SMOKE, M=CARBON MONOXIDE, G=GAS, I=HEAT, F=FLAME (OR A COMBINATION) (REFER TO FIRE PROTECTION DWGS))
19	VOICE ALARM SPEAKER (REFER TO FIRE ALARM DRAWINGS)
20	VOICE ALARM SPEAKER & STROBE LIGHT (REFER TO FIRE ALARM DRAWINGS)
21	EXIT LIGHT (REFER TO ELECTRICAL DRAWINGS)
22	ELECTRICAL RECEPTACLE OUTLET (REFER TO ELECTRICAL DRAWINGS)
23	CEILING MOUNTED JUNCTION BOX (REFER TO ELECTRICAL DRAWINGS)
24	CEILING MOUNTED JUNCTION BOX RECESSED IN SLAB
25	CEILING MOUNTED JUNCTION BOX WITH IN SLAB CONDUIT AND STUB OUTS
26	TELECOM - REFER TO TELECOM DRAWINGS
27	SPECIAL PURPOSE CONNECTION
28	SPEAKER OUTLET
29	ALARM
30	SECURITY CAMERA (REFER TO SECURITY DRAWINGS)
31	WINDOW WASHING TRACK (REFER TO 14" PLANS)



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
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ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
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MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
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CODE CONSULTANTS: **Construction Consulting Associates**
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CURTAINWALL CONSULTANT: **AJLP Consulting**
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LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
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10	CD BULLETIN ISSUE - 2	11 MAY 16
11	CD BULLETIN ISSUE - 3	18 MAY 16
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15	CD BULLETIN ISSUE - 7	23 DEC 1

REFLECTED CEILING PLAN SYMBOL LEGEND

SYMBOL	DESCRIPTION
	CEILING MOUNTED
	WALL MOUNTED
	SLEEVED OPENING
	SLAB OPENING
	SLAB OPENING ABOVE (UNLESS NOTED OTHERWISE)
	ACCESS PANEL (HINGED / UNHINGED)
	LIGHT FIXTURE (SQUARE / RECTANGULAR) - SUSPENDED (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE (LINEAR) - SUSPENDED (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE (SQUARE / RECTANGULAR / CIRCULAR) - RECESSED (REFER TO ELECTRICAL DRAWINGS)
	WALL MOUNTED LIGHT FIXTURE (REFER TO ELECTRICAL DRAWINGS)
	UNIT ENTRY LIGHT FIXTURE / DOOR BELL (REFER TO ELECTRICAL DRAWINGS)
	LIGHT FIXTURE - TRACK (REFER TO ELECTRICAL DRAWINGS)
	RETURN AIR DIFFUSER (SQUARE / RECTANGULAR / ROUND) (REFER TO MECHANICAL DRAWINGS)
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	LINEAR AIR DIFFUSER (SINGLE / DOUBLE) (WHERE X IS: R=RETURN AIR, S=SUPPLY AIR, SRA=SUPPLY RETURN COMBO) (REFER TO MECHANICAL DRAWINGS)
	SPRINKLER HEAD (REFER TO FIRE PROTECTION DRAWINGS)
	DETECTORS WITH JUNCTION BOX RECESSED IN DROP CEILING (WHERE X IS: S=SMOKE, M=CARBON MONOXIDE, G=GAS, I=HEAT, F=FLAME (OR A COMBINATION) (REFER TO FIRE PROTECTION DWGS))
	DETECTORS WITH JUNCTION BOX AND CONDUIT RECESSED IN SLAB (WHERE X IS: S=SMOKE, M=CARBON MONOXIDE, G=GAS, I=HEAT, F=FLAME (OR A COMBINATION) (REFER TO FIRE PROTECTION DWGS))
	VOICE ALARM SPEAKER (REFER TO FIRE ALARM DRAWINGS)
	VOICE ALARM SPEAKER & STROBE LIGHT (REFER TO FIRE ALARM DRAWINGS)
	EXIT LIGHT (REFER TO ELECTRICAL DRAWINGS)
	ELECTRICAL RECEPTACLE OUTLET (REFER TO ELECTRICAL DRAWINGS)
	CEILING MOUNTED JUNCTION BOX (REFER TO ELECTRICAL DRAWINGS)
	CEILING MOUNTED JUNCTION BOX WITH IN SLAB CONDUIT AND STUB OUTS
	TELECOM - REFER TO TELECOM DRAWINGS
	SPECIAL PURPOSE CONNECTION
	SPEAKER OUTLET
	ALARM
	SECURITY CAMERA (REFER TO SECURITY DRAWINGS)
	WINDOW WASHING TRACK (REFER TO 1/4" PLANS)

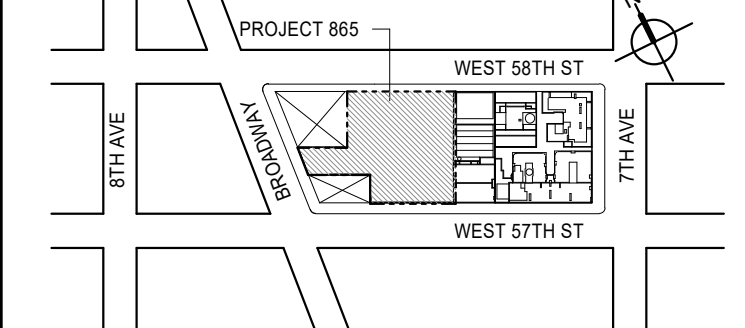
EXTENT OF 2HR HORIZONTAL SHAFT WALL ENCLOSURE AROUND BUILDING STAIR-HAVENT DUCT

EXTENT OF 2HR FIRE-RATED ENCLOSURE REFER TO CORRESPONDING FIRE PROTECTION DRAWINGS

GENERAL NOTES:

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KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
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Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

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	D.O.B. AMENDMENT 2	21 SEP 15
4	CD PROGRESS ISSUE 6	02 NOV 15
5	CMU DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
6	CD PROGRESS ISSUE 7	29 JAN 16
7	CD ISSUE 8 - GMP SET	31 MAR 16
8	CD BULLETIN ISSUE - 1	22 APR 16
9	CD BULLETIN ISSUE - 4	15 JUL 16
10	CD BULLETIN ISSUE - 6	28 AUG 16
11	ASI ISSUE - 11	16 DEC 16
	D.O.B. AMENDMENT 4	12 DEC 17

/ISSUED AS A-306- CD PROGRESS ISSUE 5 - 09 MAR 15/

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



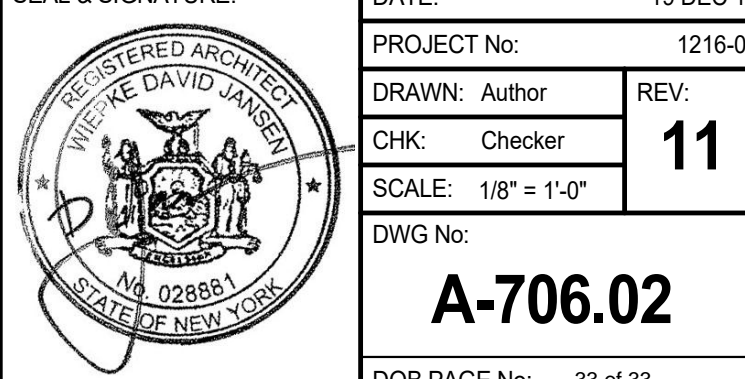
PROJECT:

**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:

**GROUND FLOOR INTERMEDIATE
REFLECTED CEILING PLAN (STAIR
TRANSFER) (MFD-GROUND FLOOR
INTERMEDIATE)**

SEAL & SIGNATURE:



DOB EMPLOYEE STAMP:

DOB 5-SCAN: